

PUD AMENDMENT PLAN: NOVEMBER 5th, 2019

Salo Park

Silver Lake Shopping Center

RESIDENCE 1

AMENITY DECK

CLUBHOUSE

RESIDENCE 1 MAIN ENTRANCE

RESIDENCE 2 MAIN ENTRANCE

RESIDENCE 2 -BASIS OF EXTERIOR DESIGN TO MATCH RESIDENCE ONE / PHASE 1

TO SILVER LAKE RD.

North Arrow

T.0



① SITE LOOKING NORTH WEST



② SITE LOOKING SOUTH WEST

ARCHITECT:
DORAN
ARCHITECTURE
7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

REGISTRATION

DESIGN ARCHITECT:

ISSUE RECORD		
No.	Description	Date

NOT FOR CONSTRUCTION

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007
DATE
11/05/2019
PROJECT MANAGER
MICHAEL DUNN
DRAWN BY
BEN LINDAU
CHECKED BY
EVAN DORAN

PREPARED FOR
DORAN
COMPANIES
7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
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SHEET TITLE
SITE PHOTOS

SHEET NUMBER

A1.1



① SITE LOOKING EAST



② SITE LOOKING NORTH EAST

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SHEET TITLE

SITE PHOTOS

SHEET NUMBER

A 1.2



COLOR KEY	
	AMENITY
	STUDIO
	ALCOVE
	1 BED
	2 BED
	3 BED
	STAIR / ELEV.
	STORAGE

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SHEET TITLE
LEVEL P1 OVERALL FLOOR PLAN

SHEET NUMBER



SCALE: 1" = 25'-0"

A 2.0

COLOR KEY

- AMENITY
- STUDIO
- ALCOVE
- 1 BED
- 2 BED
- 3 BED
- STAIR / ELEV.
- STORAGE



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SHEET TITLE
LEVEL 1 OVERALL FLOOR PLAN

SHEET NUMBER



SCALE: 1" = 25'-0"

A 2.1

COLOR KEY

AMENITY
STUDIO
ALCOVE
1 BED
2 BED
3 BED
STAIR / ELEV.
STORAGE



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SHEET TITLE

**LEVELS 2 - 4 FLOOR
OVERALL FLOOR
PLAN**

SHEET NUMBER



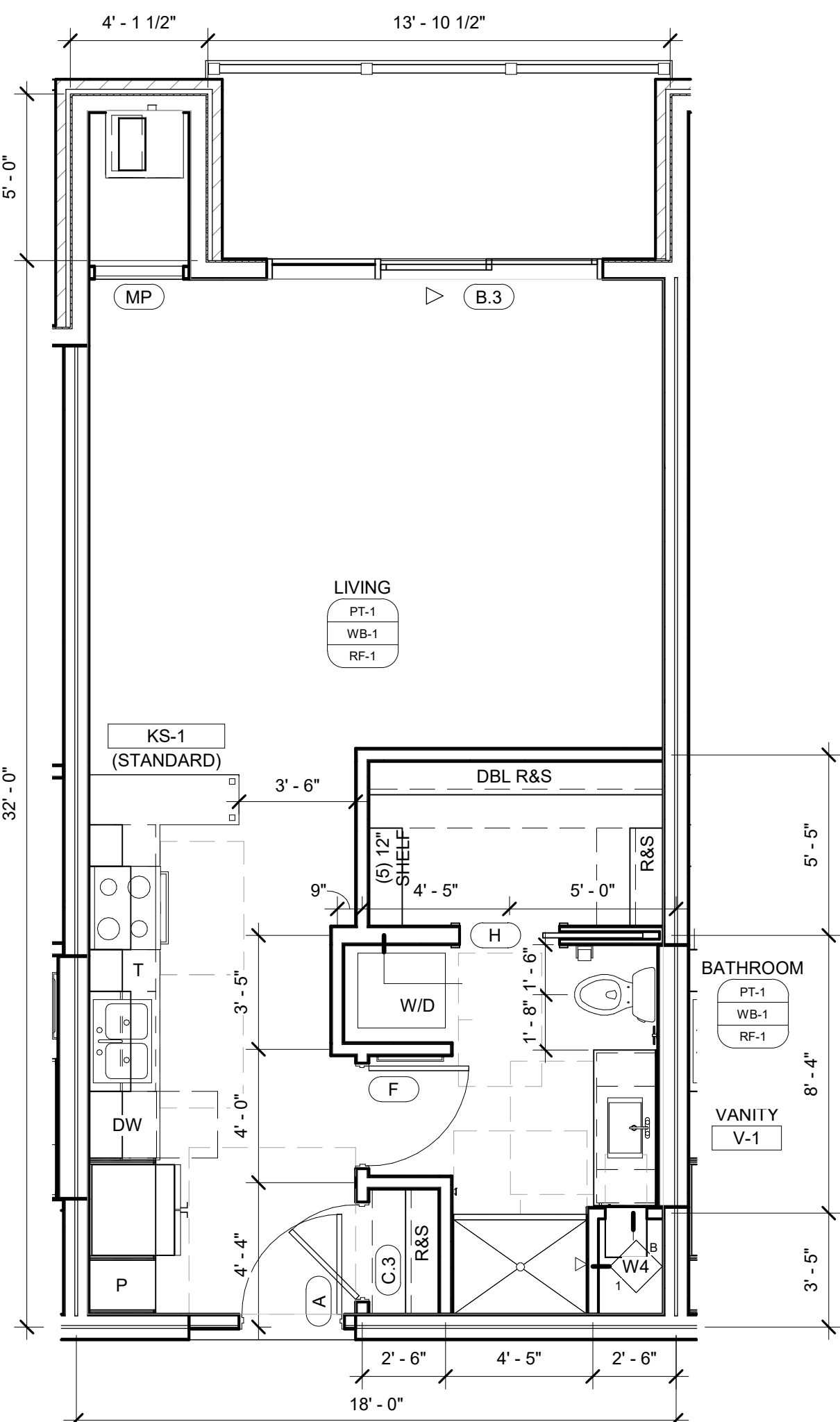
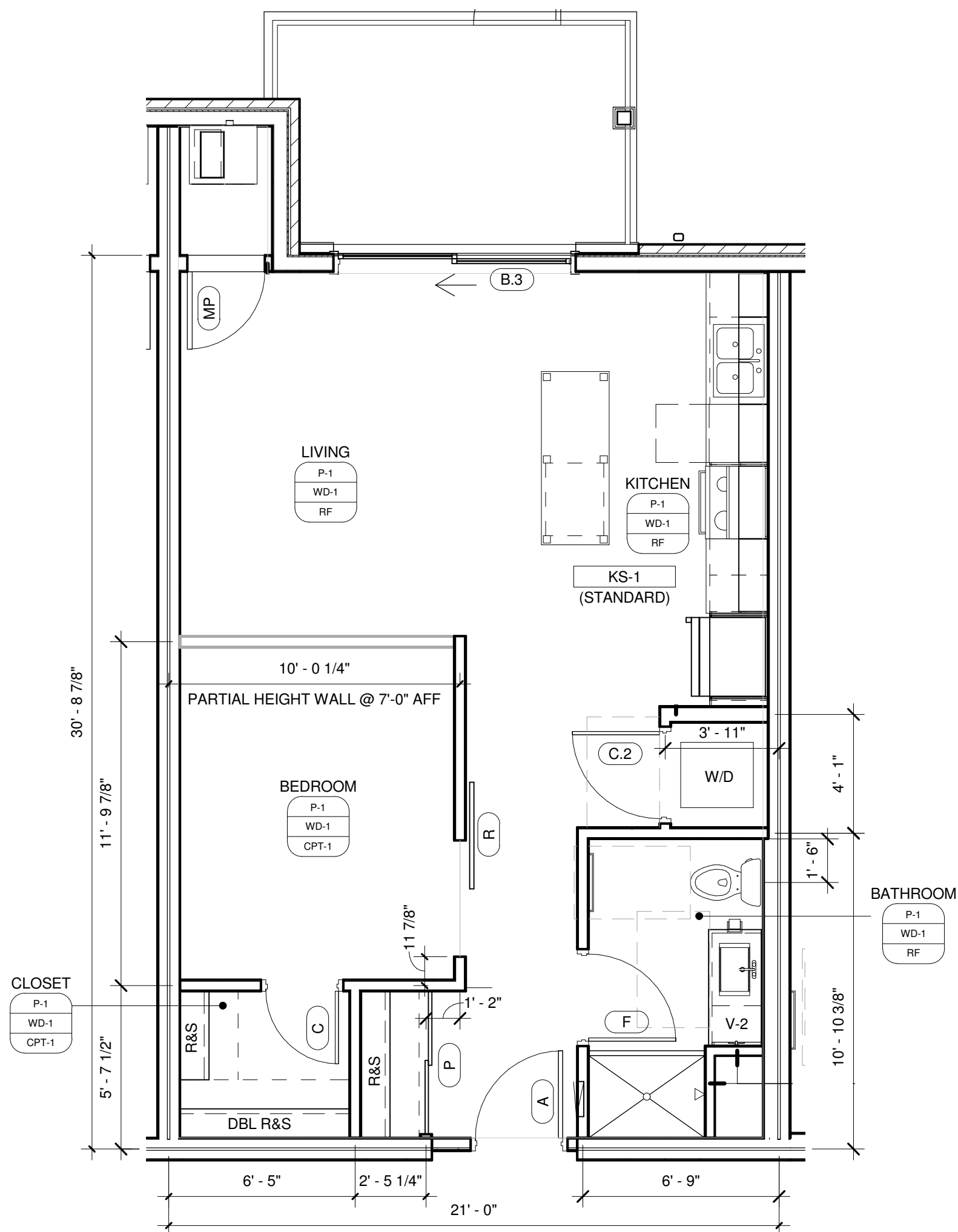
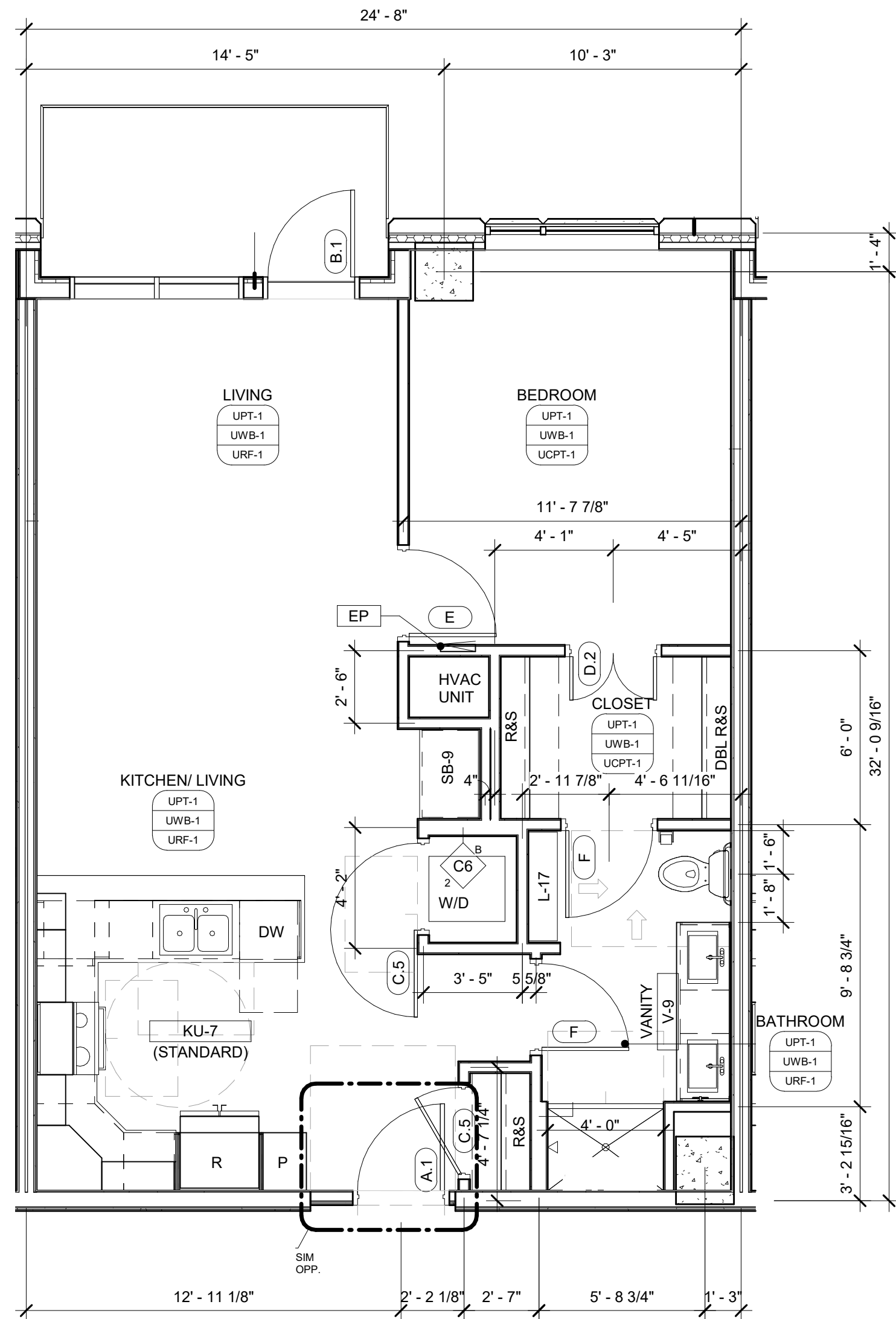
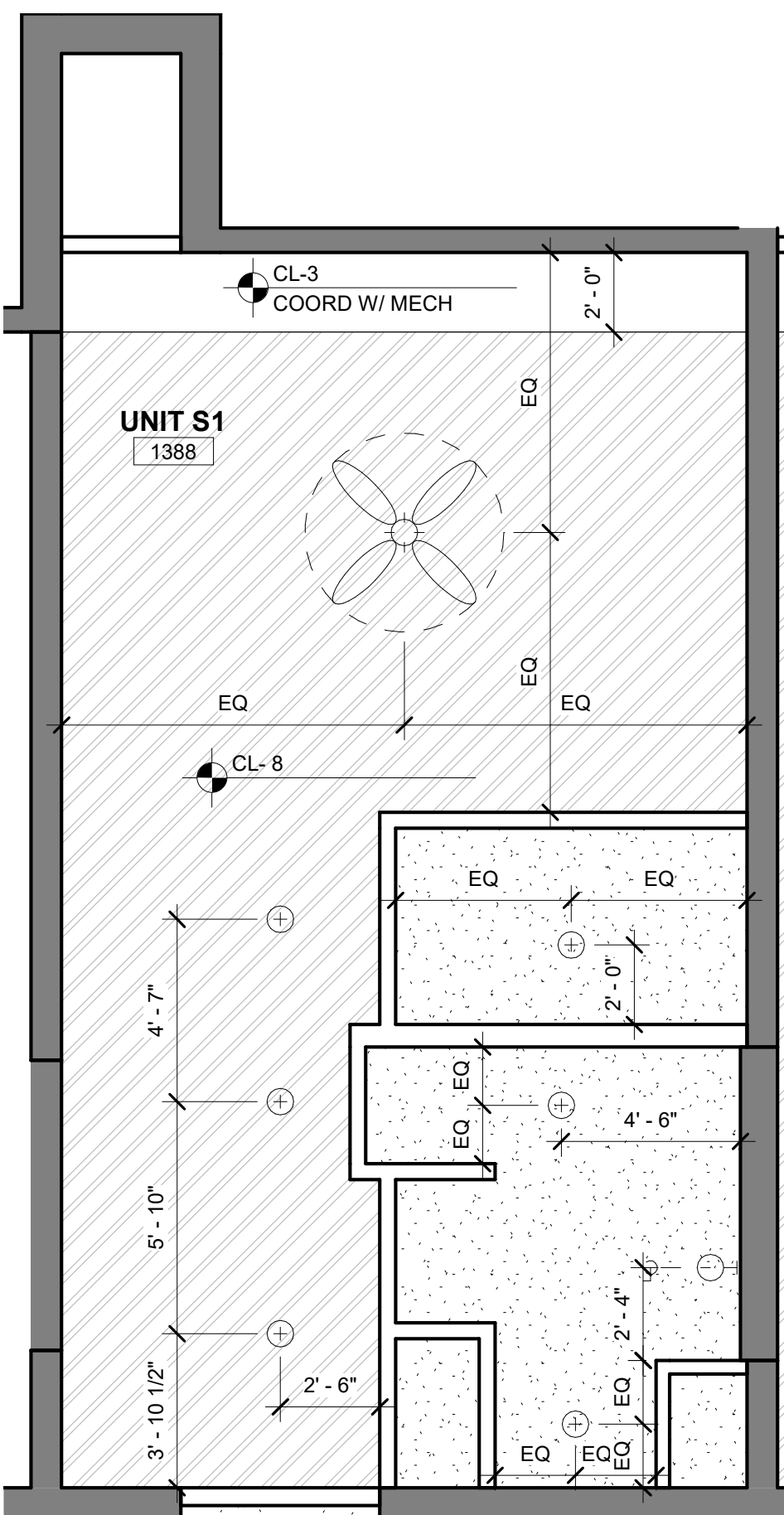
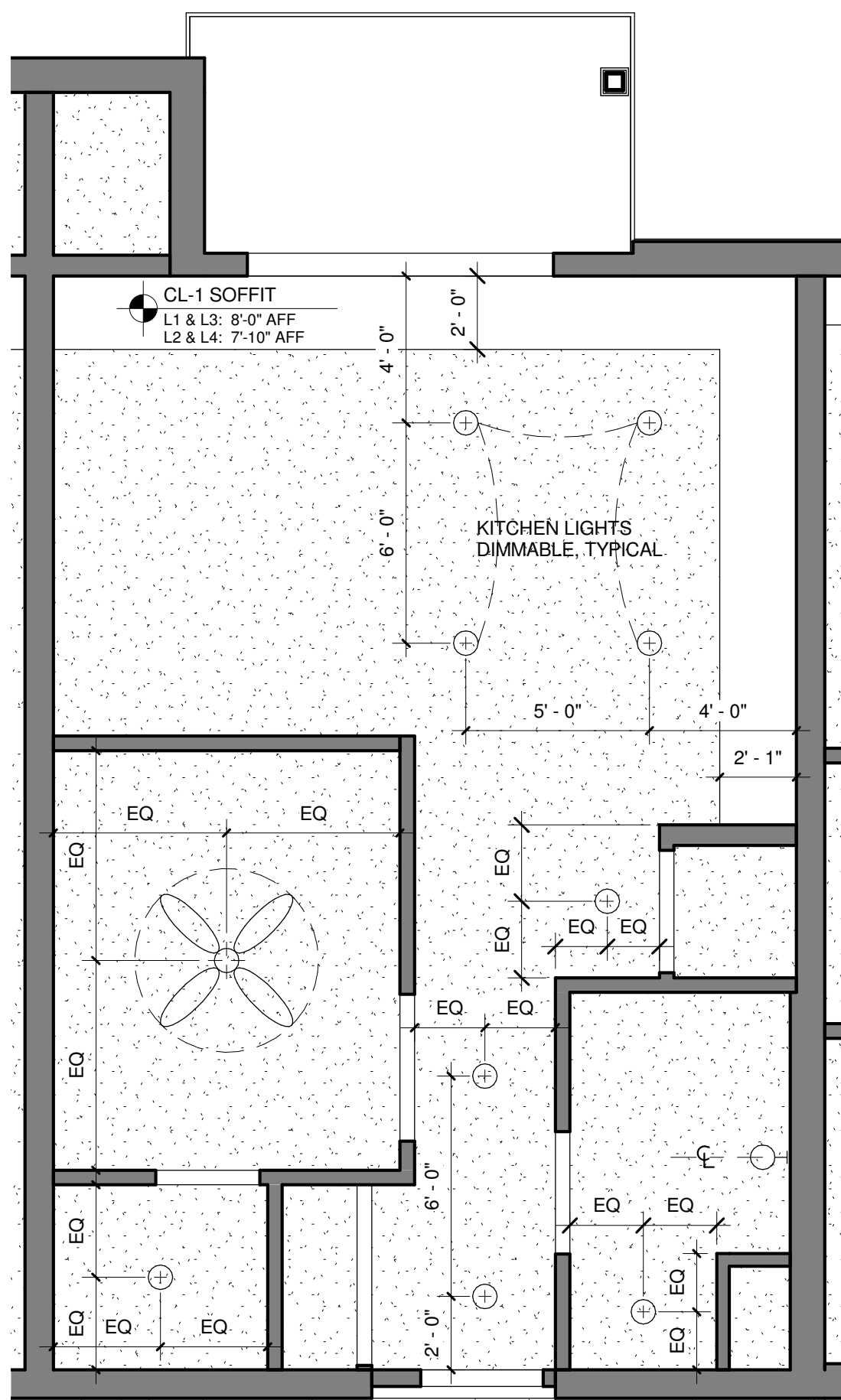
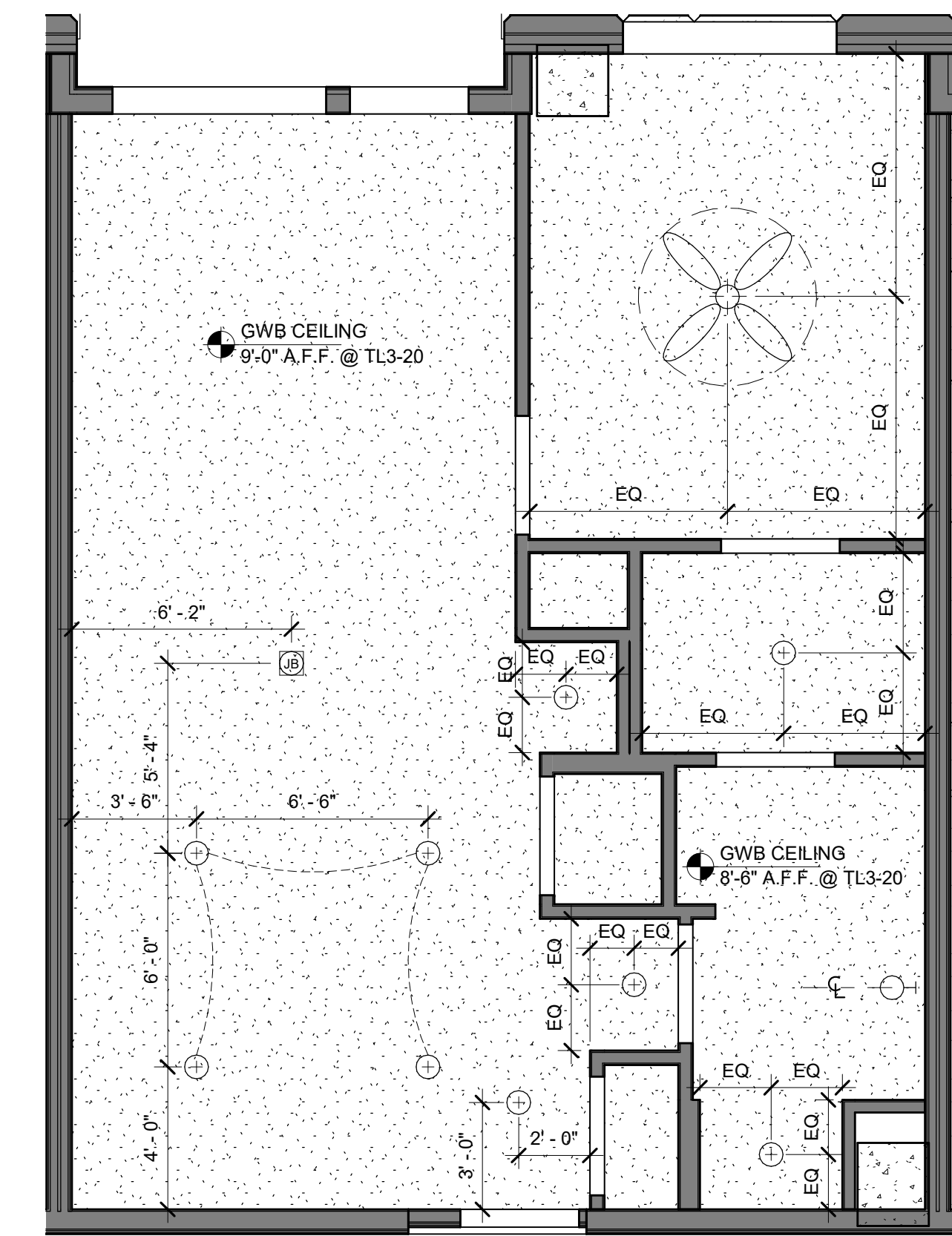
SCALE: 1" = 25'-0"

A 2.2

REFERENCE ONLY

NOTE:
- UNIT PLANS PROVIDED FOR REFERENCE ONLY AND REFLECT
CONDITIONS WHICH MAY VARY ON FINISHED PRODUCT.

- EXTERIOR WALL CONDITIONS SHOULD BE VERIFIED AGAINST
BUILDING ELEVATIONS AS UNIT PLANS MAY NOT BE INDICATIVE
OF ACTUAL CONDITIONS IN MATERIALS AND ASSEMBLIES.



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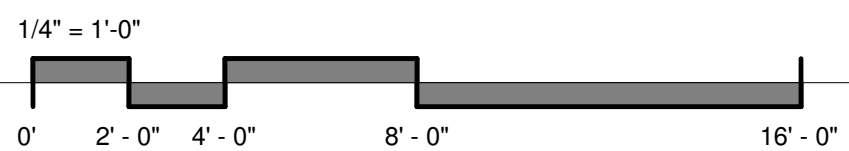
PREPARED FOR
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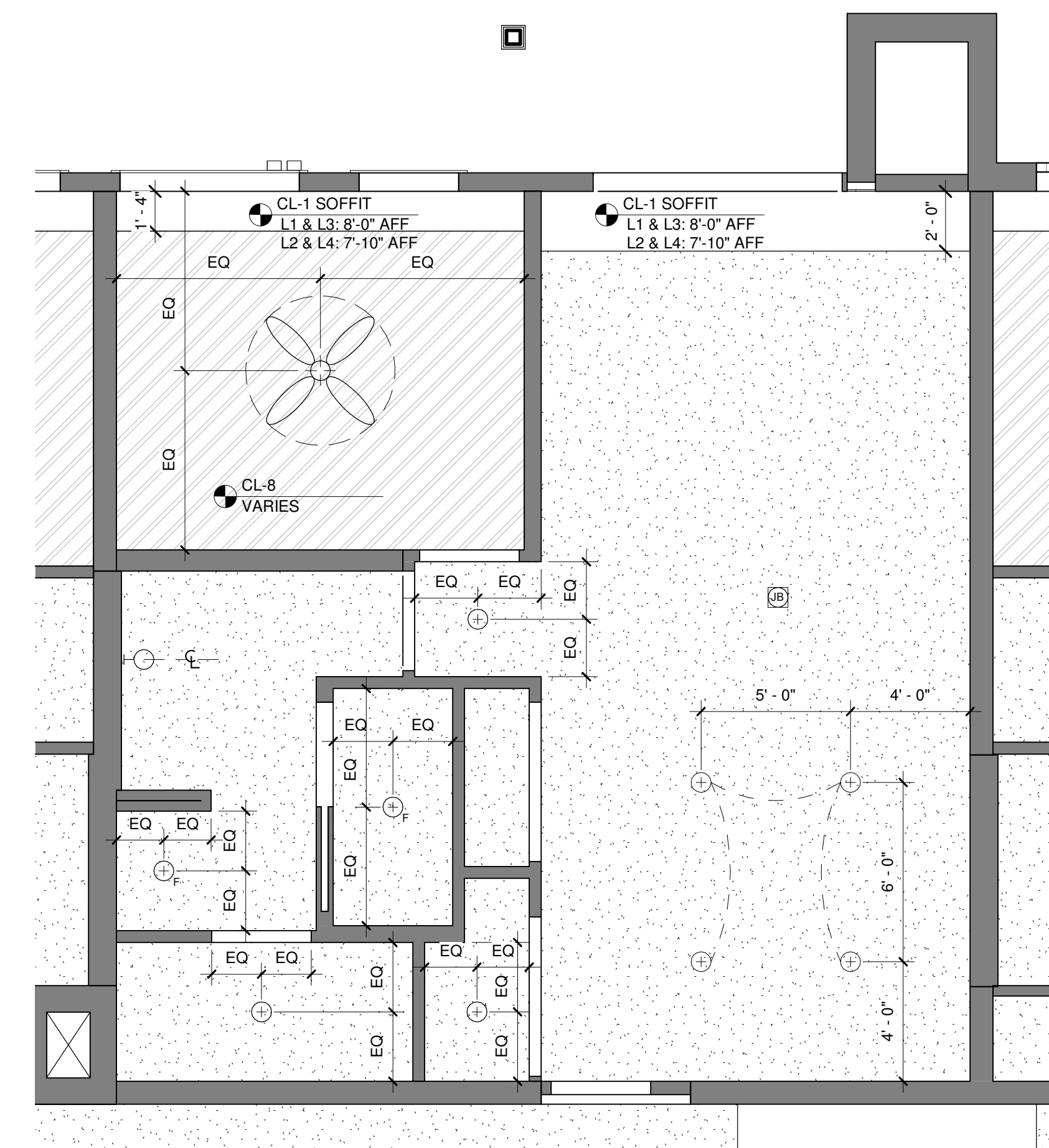
7803 Glenroy Road, Suite 200
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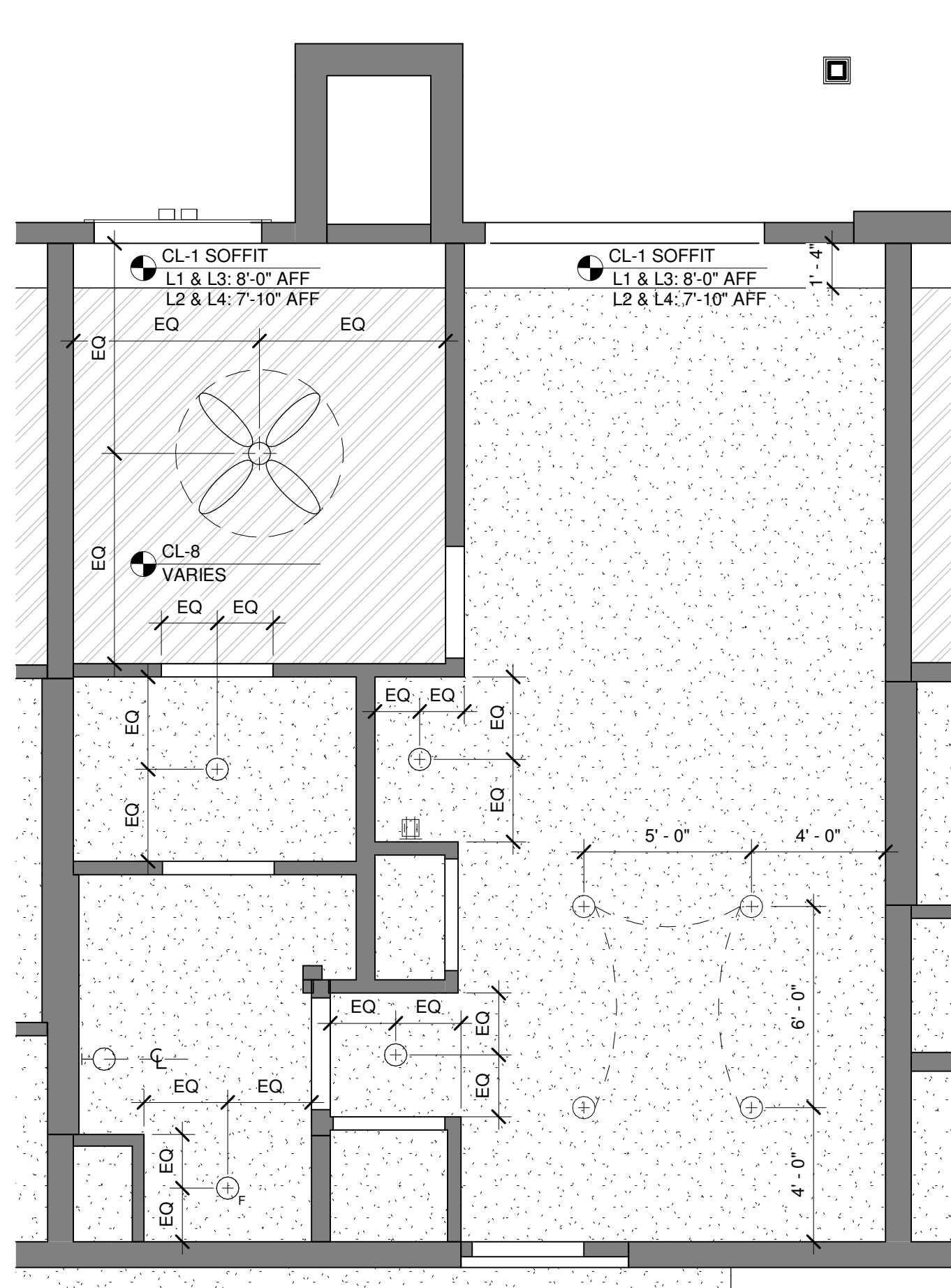
UNIT PLANS

SHEET NUMBER

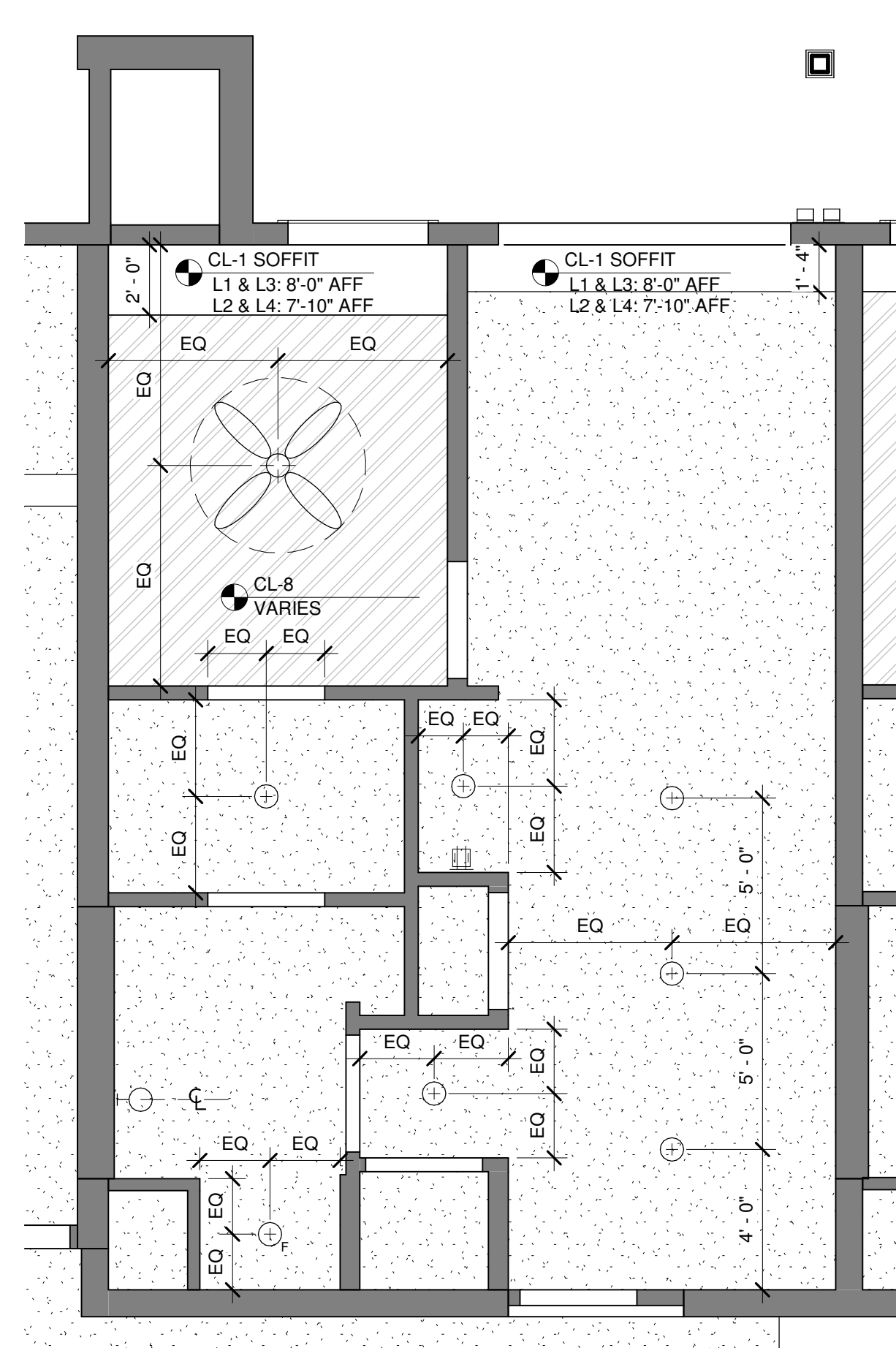




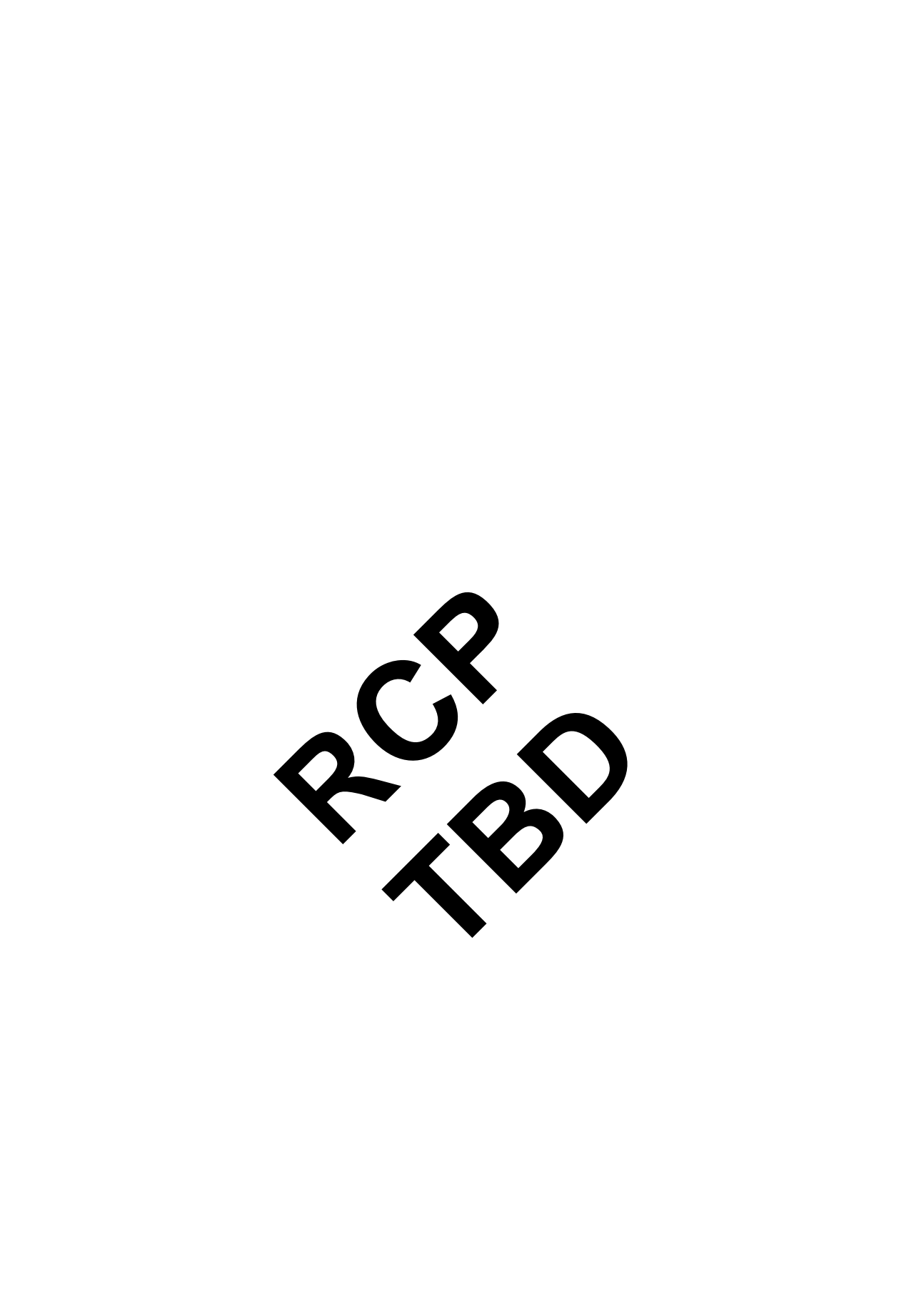
2 ONE BEDROOM "B" RCP
1/4" = 1'-0"



4 ONE BEDROOM "C" RCP
1/4" = 1'-0"



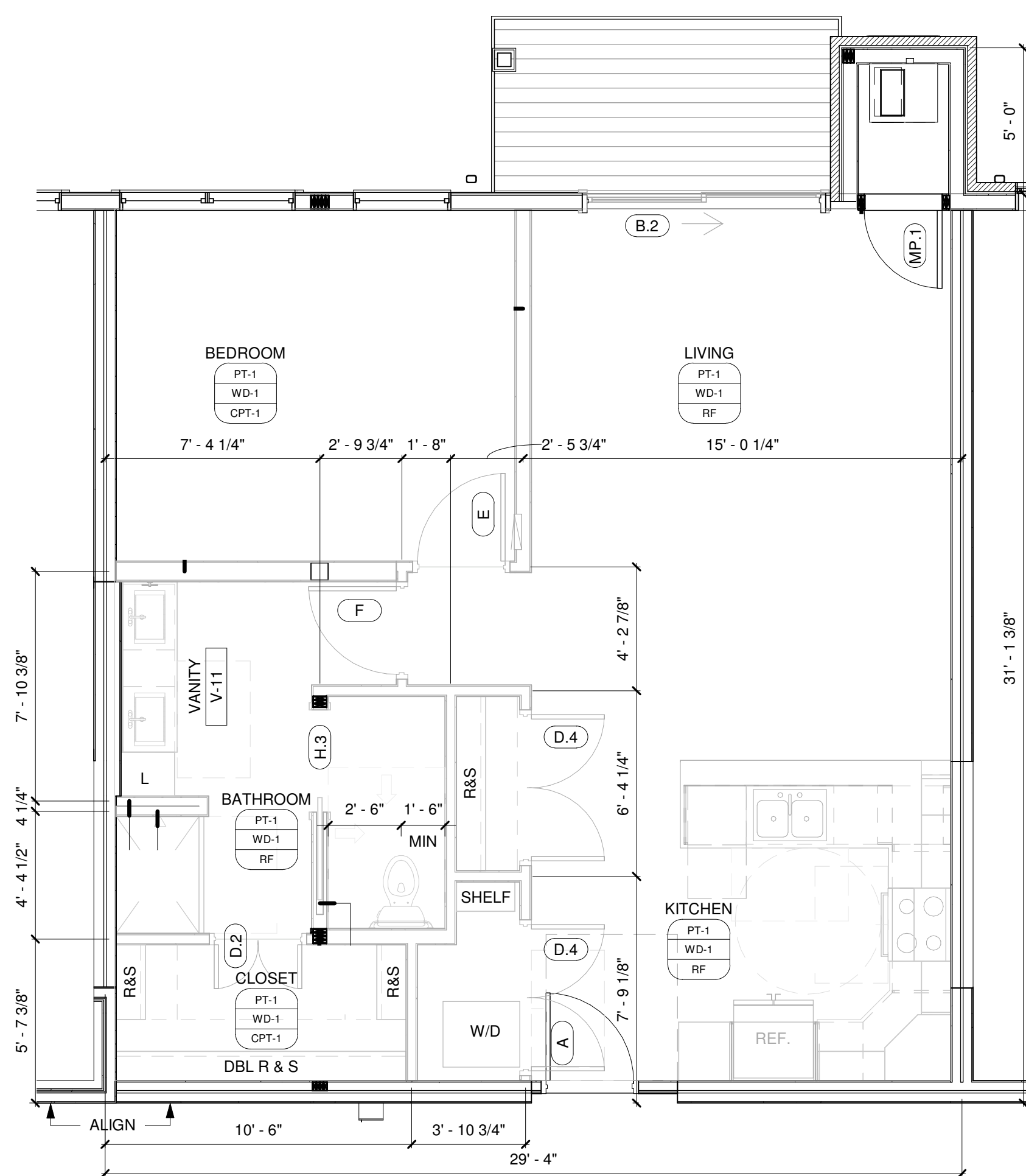
6 ONE BEDROOM "D" RCP
1/4" = 1'-0"



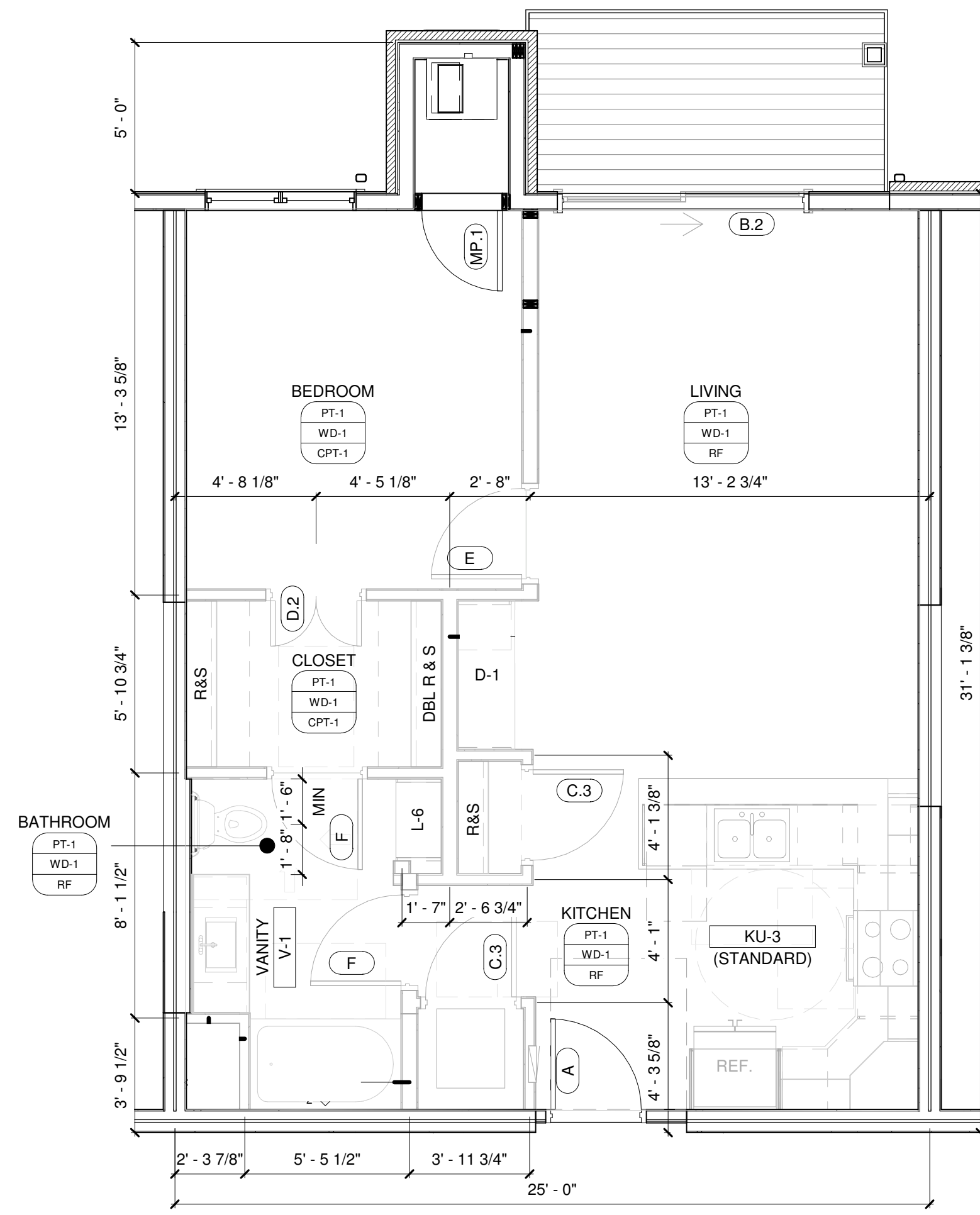
8 ONE BEDROOM "E" RCP
1/4" = 1'-0"

RCP
TBD

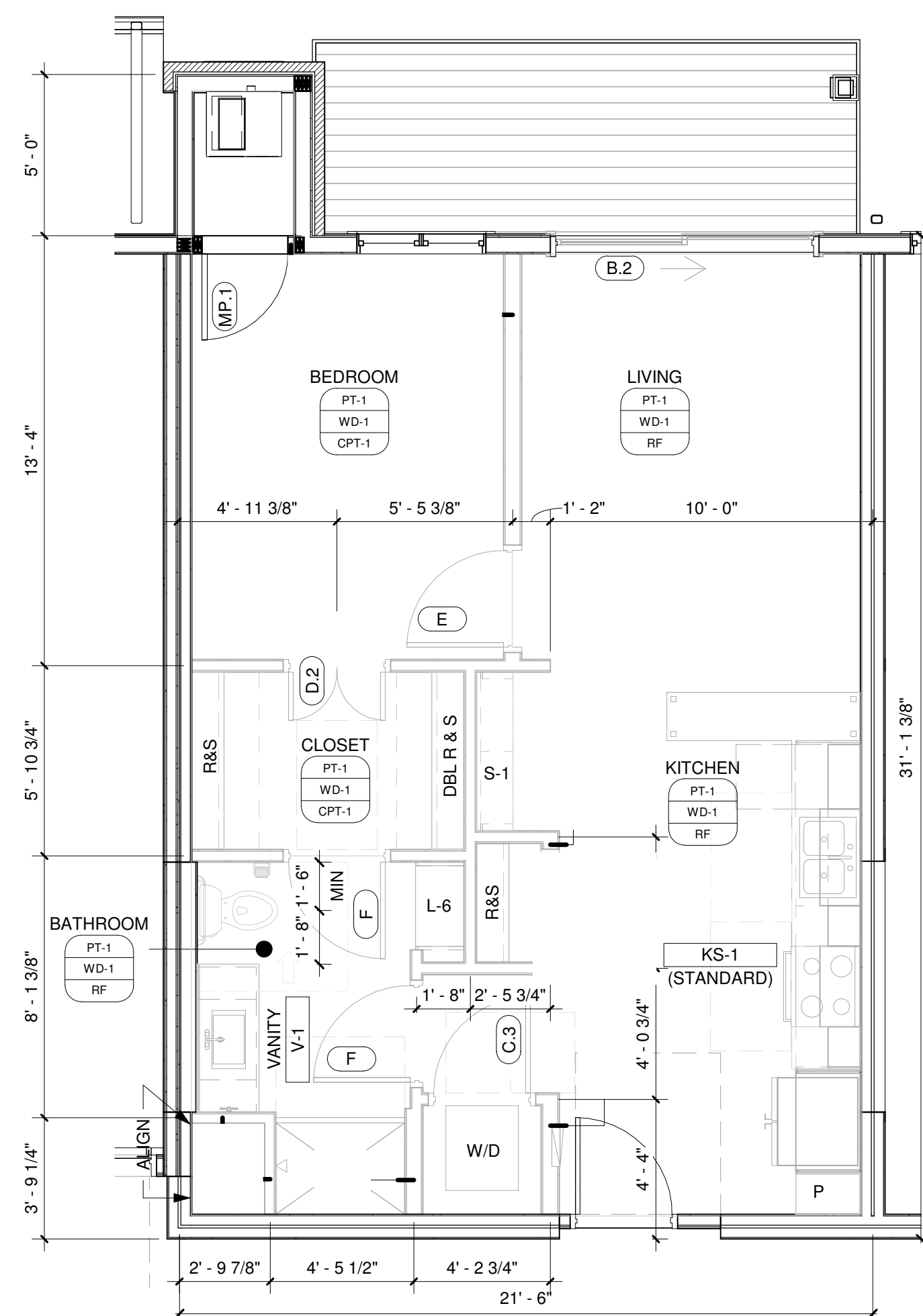
REFERENCE ONLY



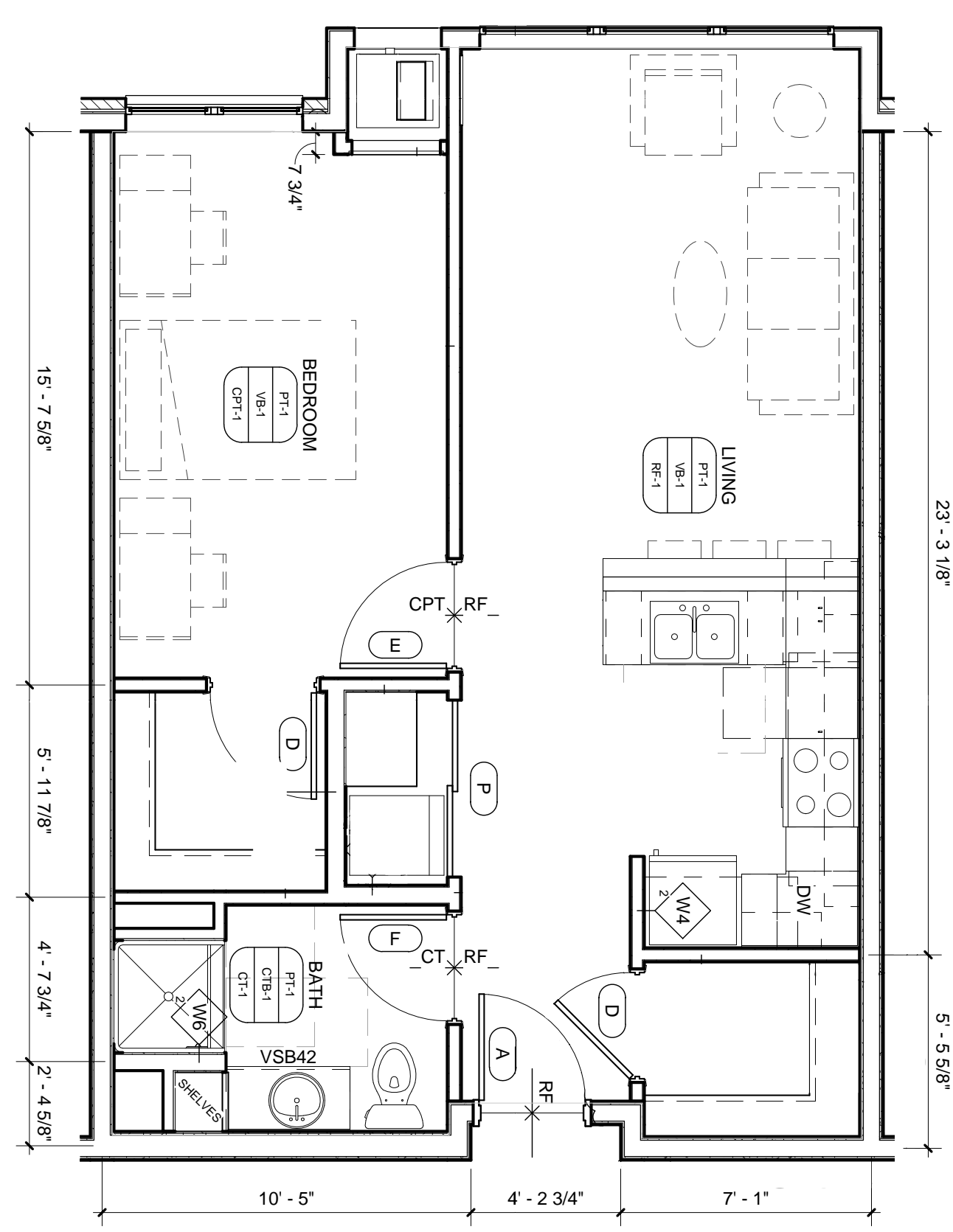
1 ONE BEDROOM "B" - APPROX. 880 SF (INTERIOR)
1/4" = 1'-0"



3 ONE BEDROOM "C" - APPROX. 750 SF (INTERIOR)
1/4" = 1'-0"



5 ONE BEDROOM "D" - APPROX. 640 SF (INTERIOR)
1/4" = 1'-0"



7 ONE BEDROOM "E" - APPROX. 635 SF (INTERIOR)
1/4" = 1'-0"

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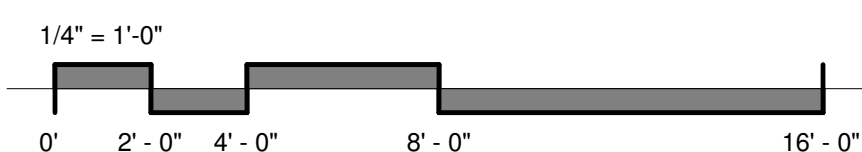
DORAN
COMPANIES

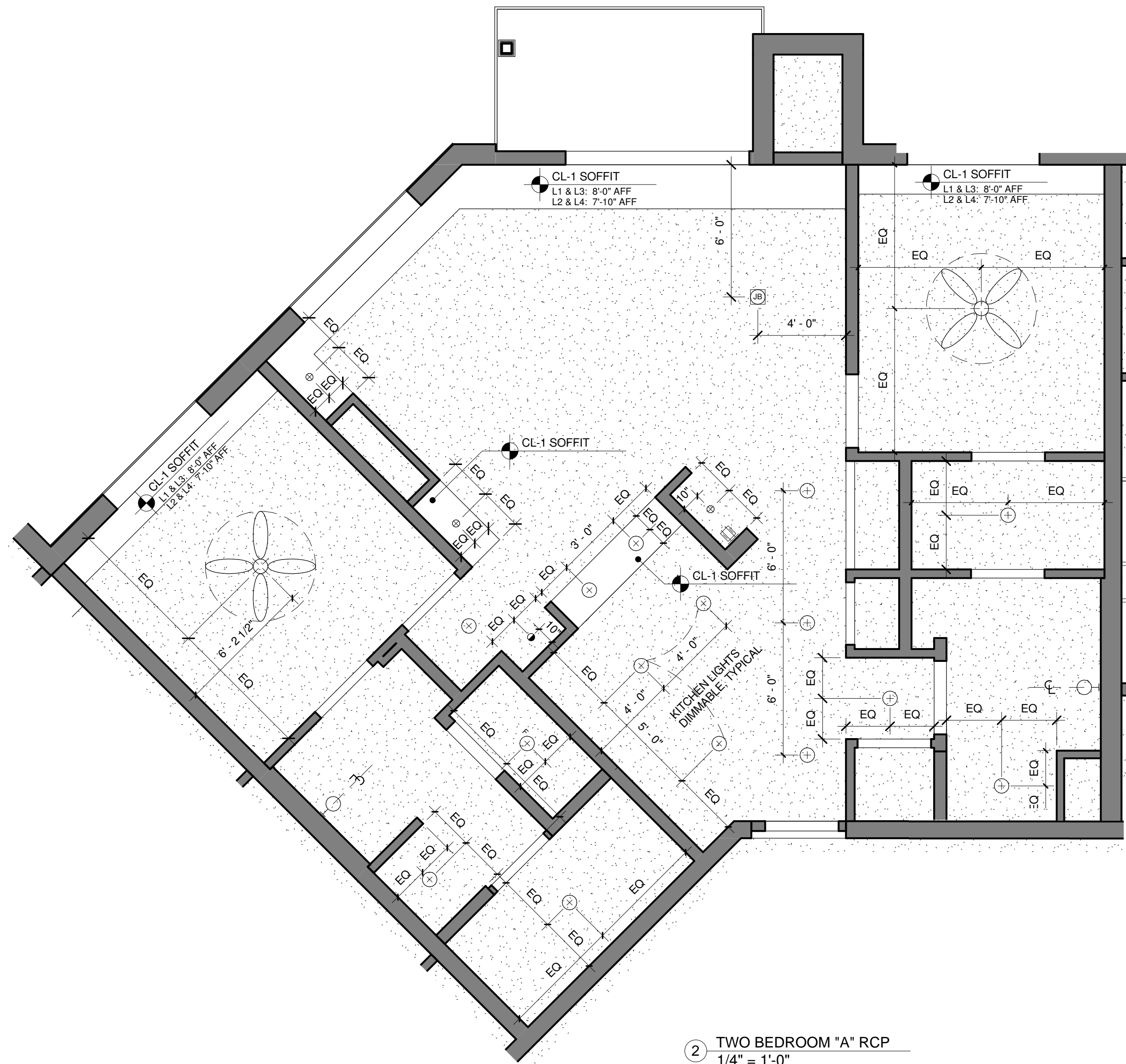
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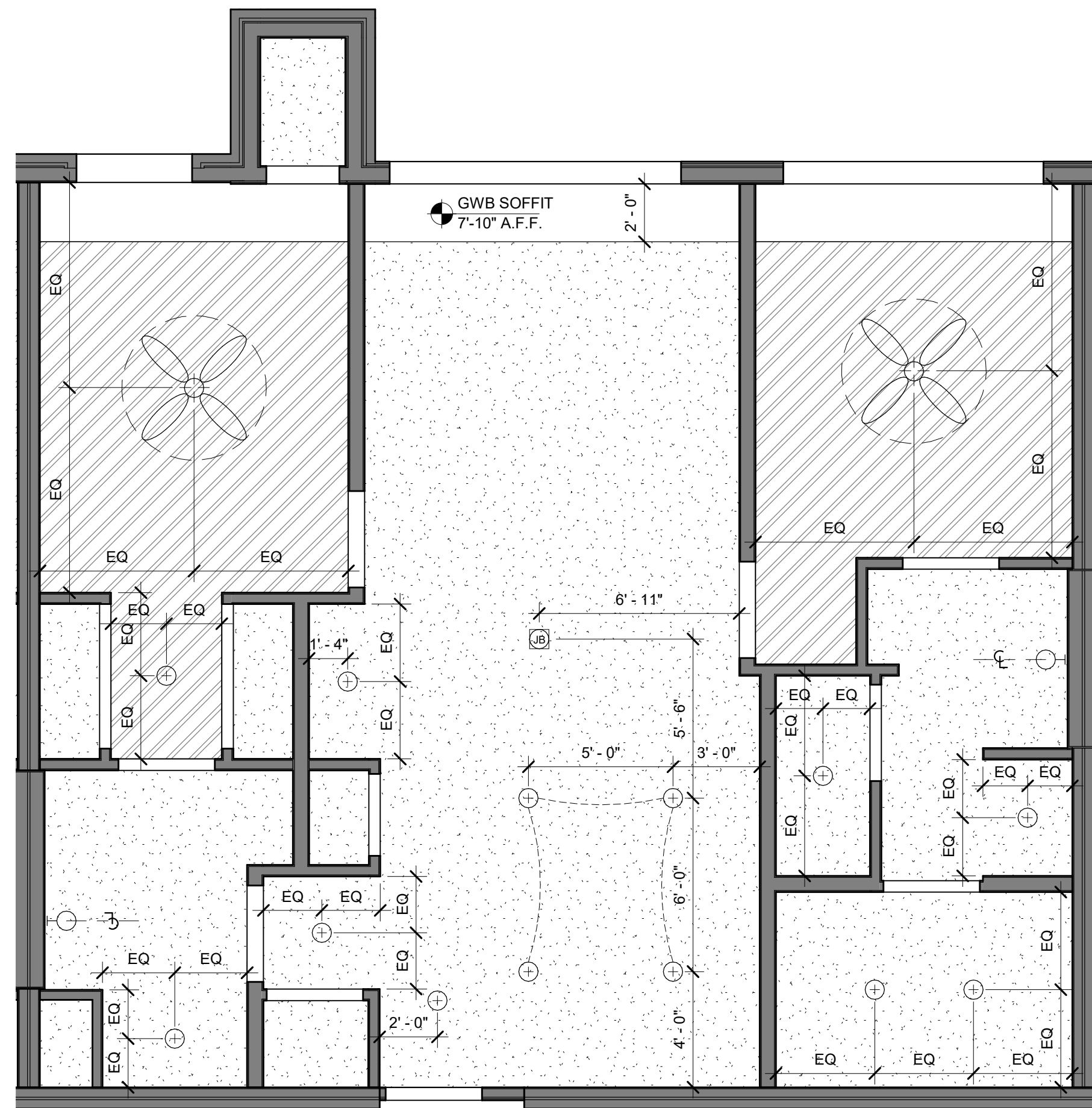
UNIT PLANS

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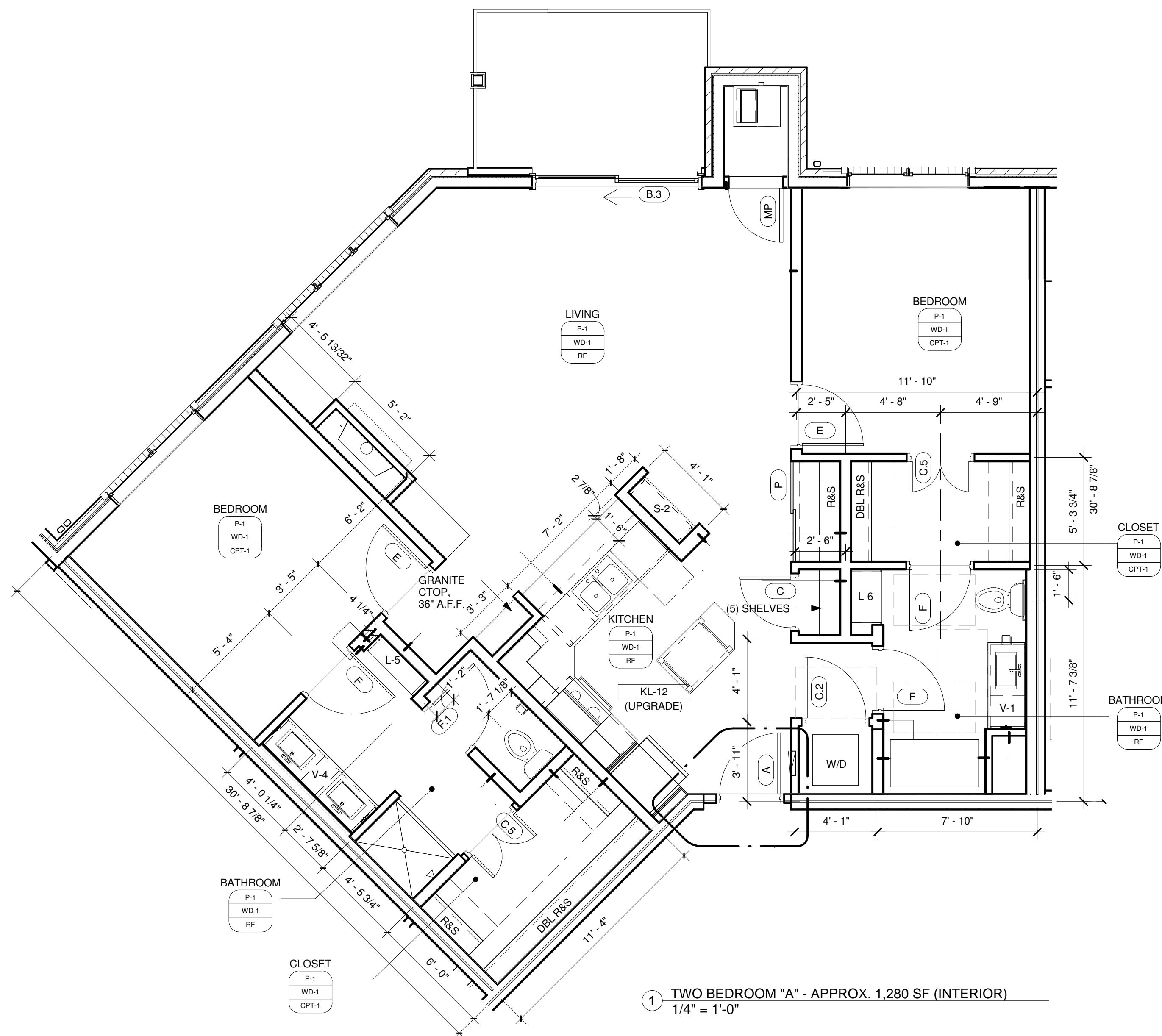




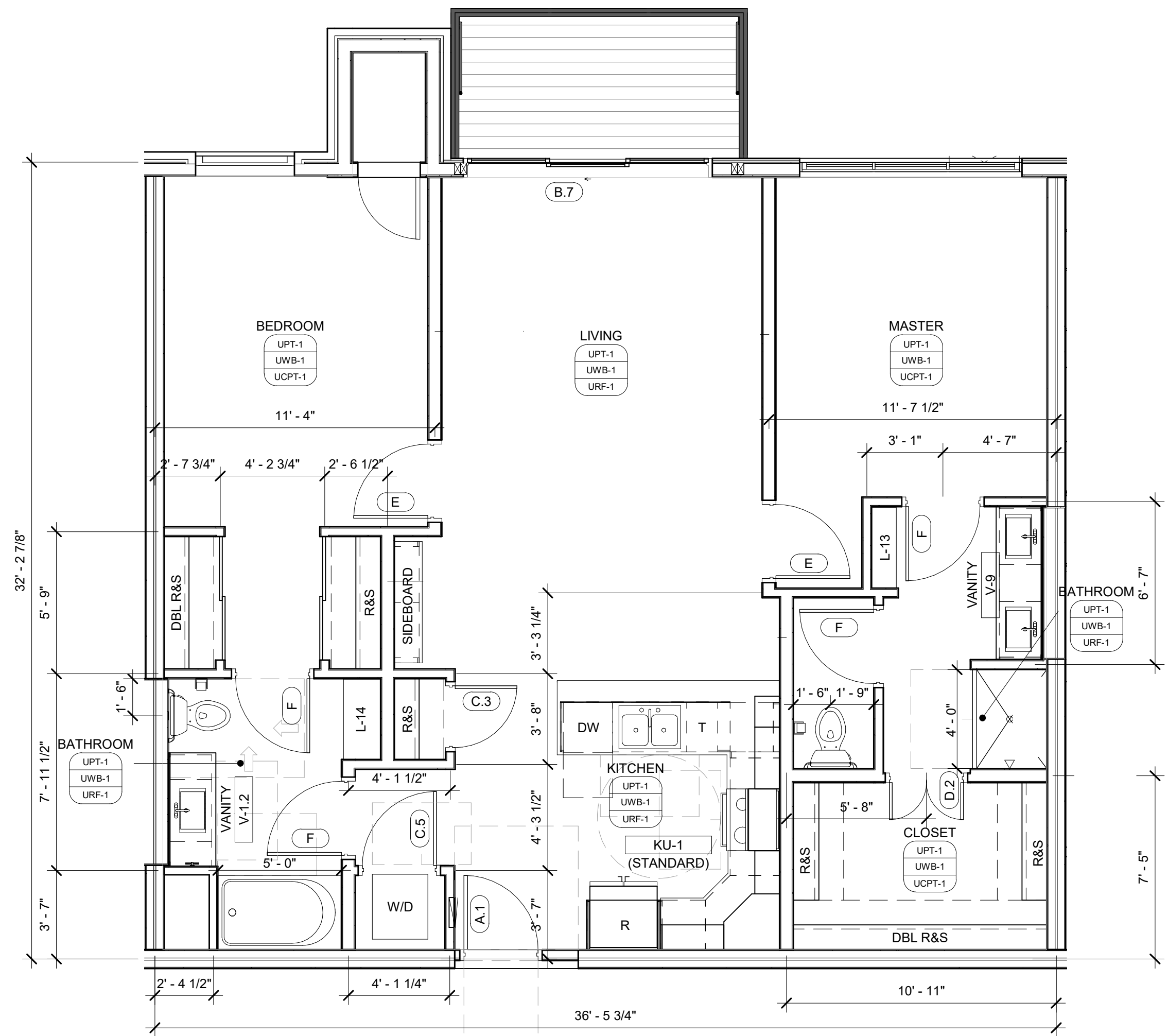
② TWO BEDROOM "A" RCP
1/4" = 1'-0"



④ TWO BEDROOM "B" RCP
1/4" = 1'-0"



① TWO BEDROOM "A" - APPROX. 1,280 SF (INTERIOR)
1/4" = 1'-0"



③ TWO BEDROOM "B" - APPROX. 1,140 SF (INTERIOR)
1/4" = 1'-0"

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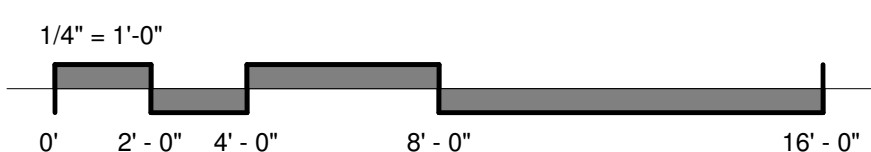
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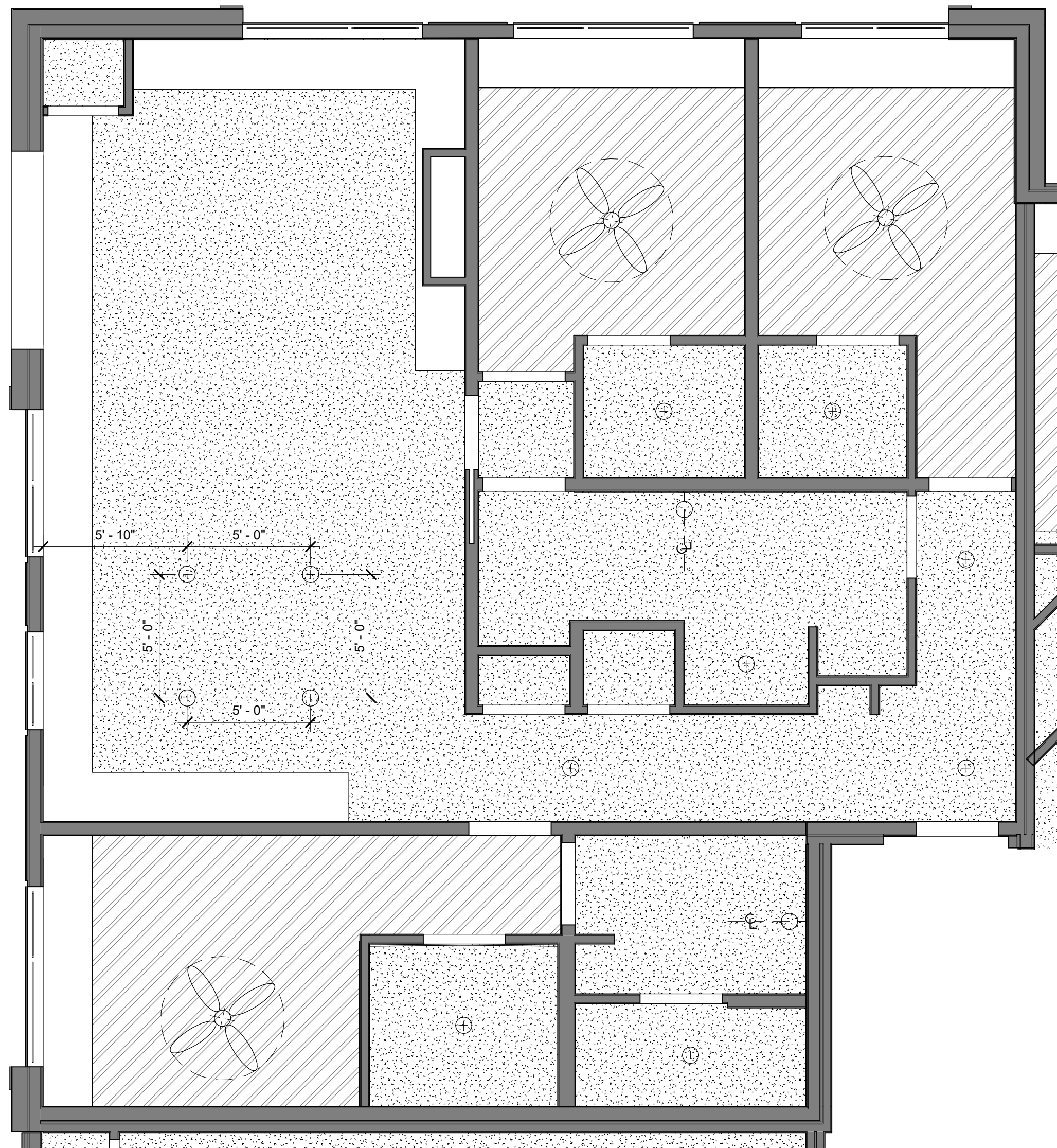
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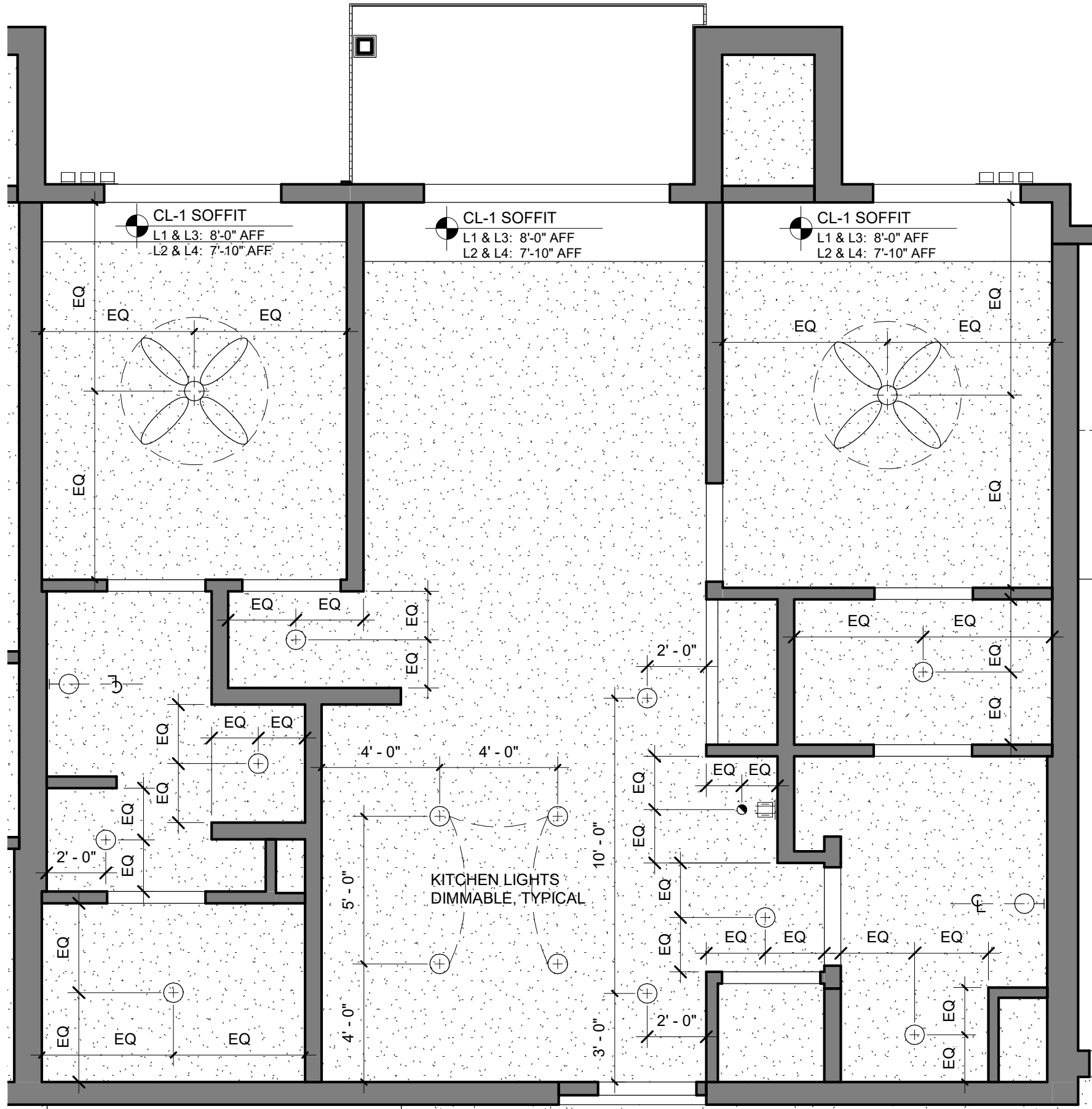
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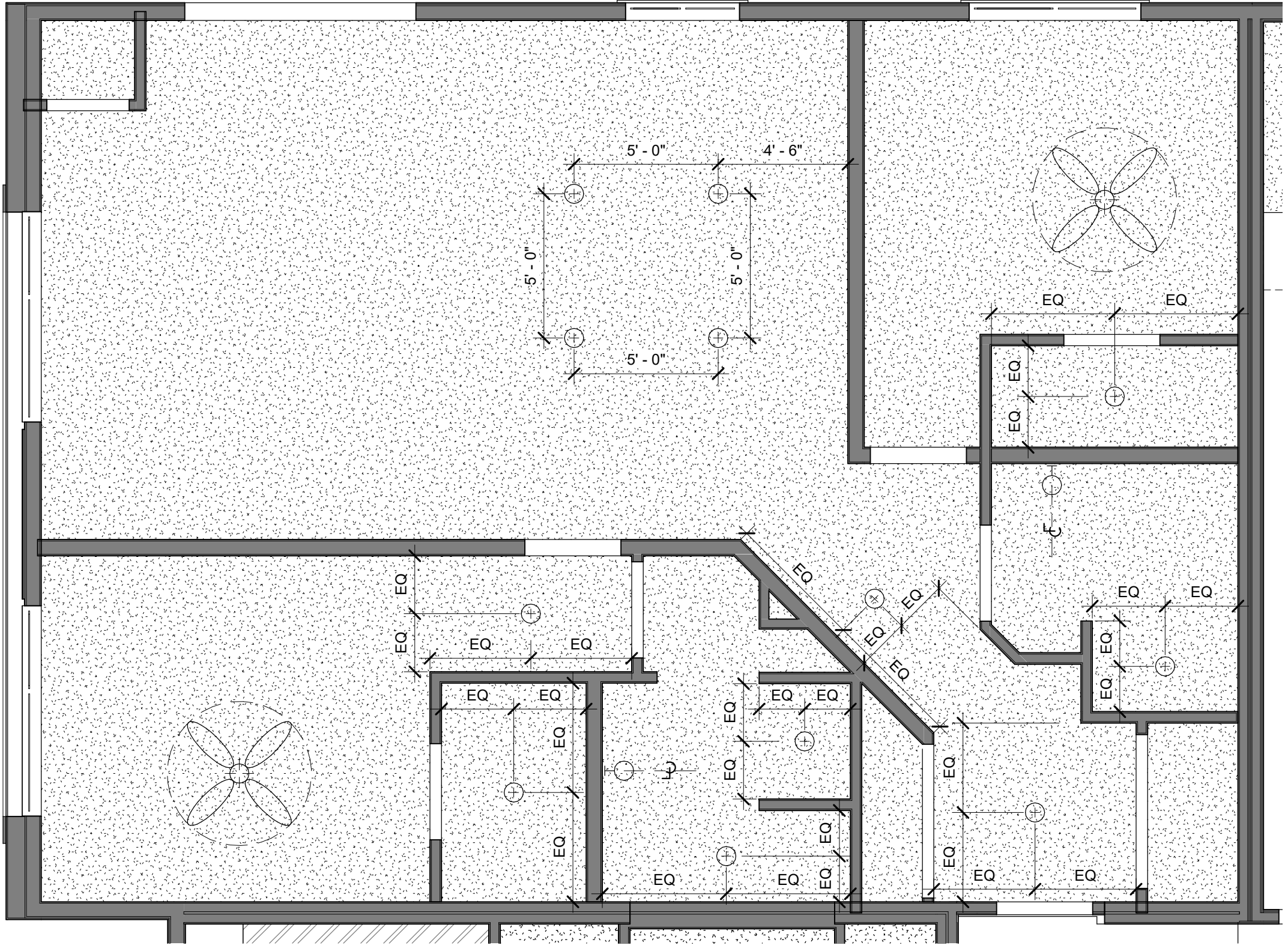




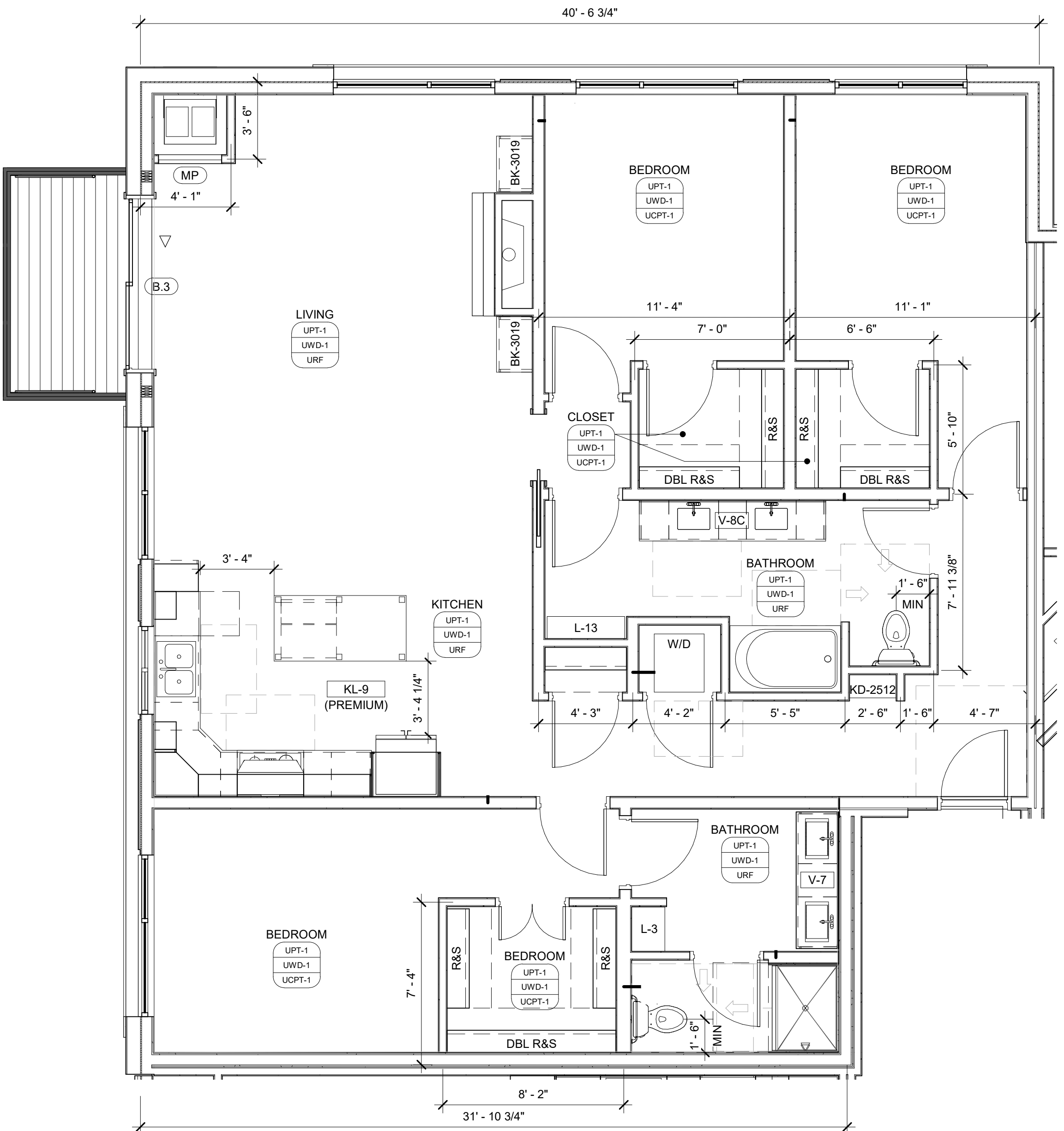
2 THREE BEDROOM RCP
1/4" = 1'-0"



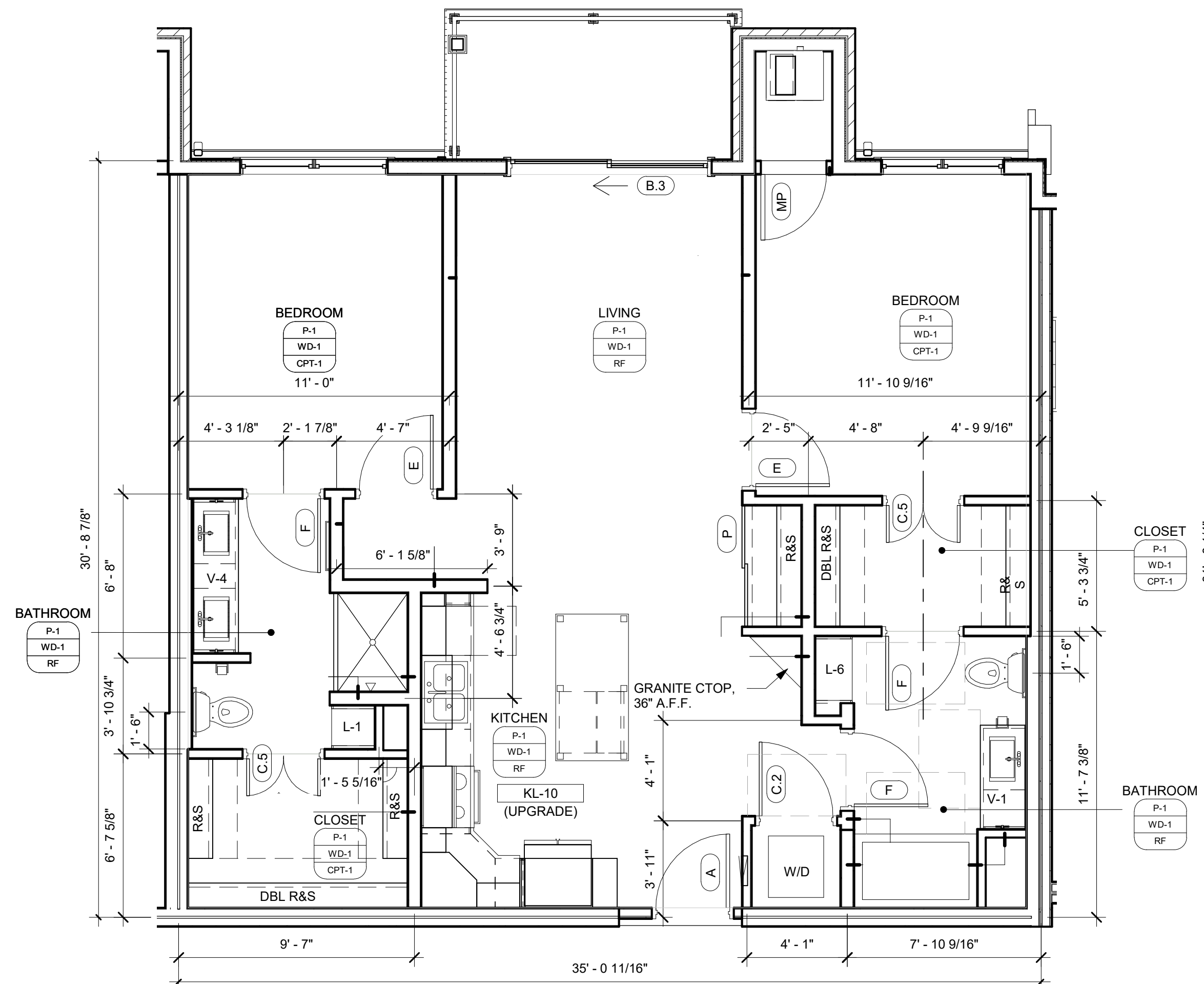
4 TWO BEDROOM 'C' RCP
1/4" = 1'-0"



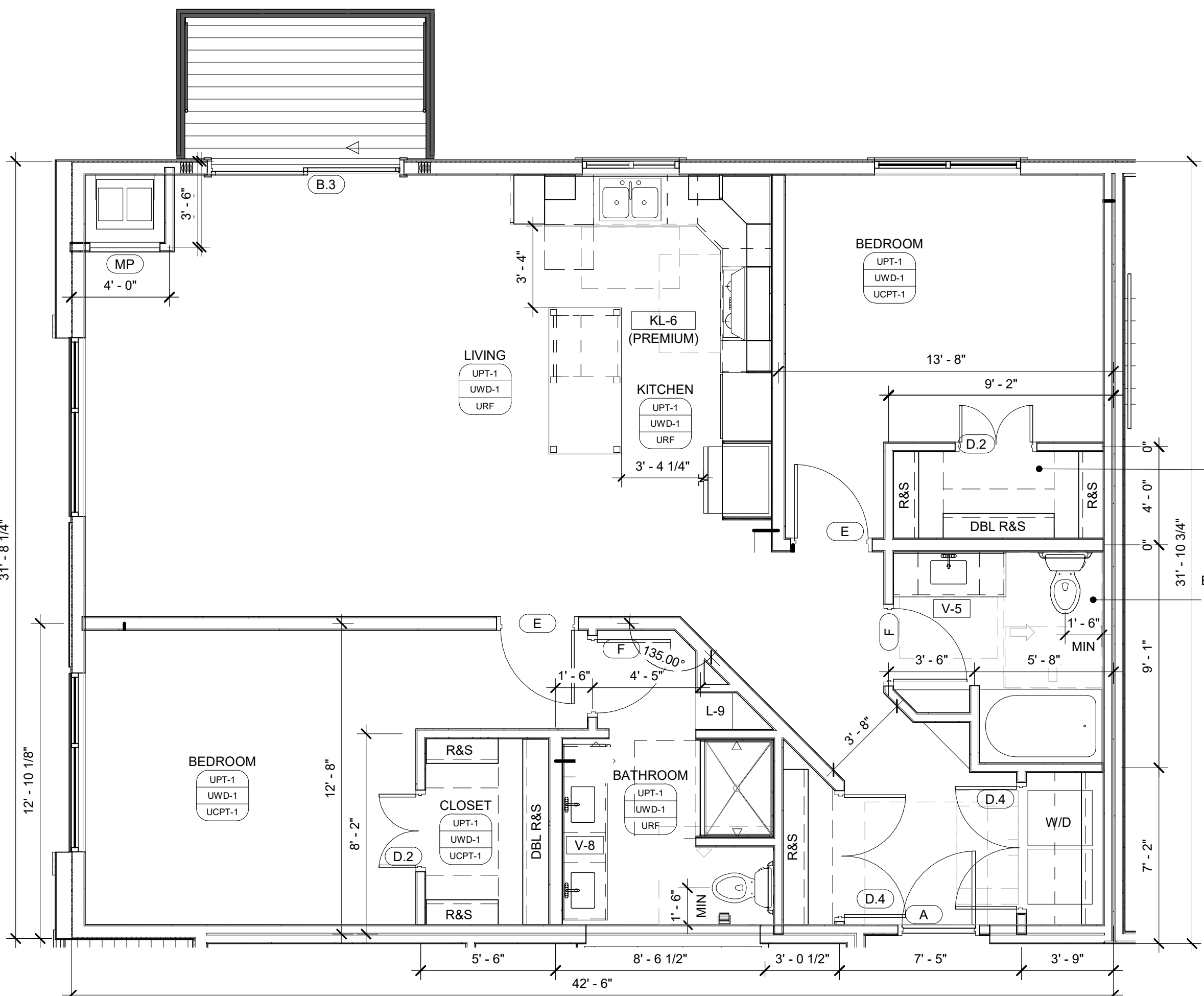
6 TWO BEDROOM 'D' RCP
1/4" = 1'-0"



1 THREE BEDROOM - APPROX. 1,615 SF (INTERIOR)
1/4" = 1'-0"



3 TWO BEDROOM 'C' - APPROX. 1,040 SF (INTERIOR)
1/4" = 1'-0"



5 TWO BEDROOM 'D' - APPROX. 1,280 SF (INTERIOR)
1/4" = 1'-0"

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UNIT PLANS

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EXTERIOR MATERIAL LEDGEND			
① FACE BRICK 1 (RED BLEND TBD)	⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD)	⑰ OVERHEAD COILING DOOR - PT TO MATCH	⑳ FACE BRICK 3 (TAN BLEND TBD)
② FACE BRICK 2 (DARK BLEND TBD)	⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱ WINDOW	㉑ CORRUGATED METAL PANEL
③ ARCH EXT PNL 1 (COLOR 1 TBD)	⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD)	㉒ METAL RAILING	㉒ ALUMINUM TRELLIS - PAINT
④ ARCH EXT PNL 2 (COLOR 2 TBD)	⑫ FIBER CEMENT TRIM - WHITE TBD	㉓ METAL DOOR - PAINT TO MATCH ADJ. COLOR)	㉓ STANDING SEAM METAL ROOF
⑤ ARCH EXT PNL 3 (COLOR 3 TBD)	⑬ FIBER CEMENT TRIM - DARK TBD	㉔ ALUM STORE FRONT	㉔ ARCHITECTURAL PRECAST - BUFF
⑥ SLIDING DOOR	⑭ CAST STONE 16" X 24" BLOCKS	㉕ MULTI-SLIDE DOOR	㉕ ARCHITECTURAL PRECAST - ACCENT BAND
⑦ FIBER CEMENT LAP SIDING- WHITE TBD	⑮ CAST STONE BAND	㉖ METAL COPING (MATCH ADJ. COLOR)	
⑧ FIBER CEMENT LAP SIDING - GREY TBD	⑯ GARAGE DOOR	㉗ MAGIC PAK LOUVER - PT TO MATCH ADJ.	



① NORTH EXTERIOR ELEVATION
1" = 10' - 0"



② NORTH EXTERIOR ELEVATION CONTINUED
1" = 10' - 0"

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**EXTERIOR ELEVATIONS
RESIDENCE**

SHEET NUMBER

EXTERIOR MATERIAL LEDGEND			
① FACE BRICK 1 (RED BLEND TBD)	⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD)	⑰ OVERHEAD COILING DOOR - PT TO MATCH	②⑤ FACE BRICK 3 (TAN BLEND TBD)
② FACE BRICK 2 (DARK BLEND TBD)	⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱ WINDOW	②⑥ CORRUGATED METAL PANEL
③ ARCH EXT PNL 1 (COLOR 1 TBD)	⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD)	⑲ METAL RAILING	②⑦ ALUMINUM TRELLIS - PAINT
④ ARCH EXT PNL 2 (COLOR 2 TBD)	⑫ FIBER CEMENT TRIM - WHITE TBD	⑳ METAL DOOR - PAINT TO MATCH ADJ. COLOR)	②⑧ STANDING SEAM METAL ROOF
⑤ ARCH EXT PNL 3 (COLOR 3 TBD)	⑬ FIBER CEMENT TRIM - DARK TBD	㉑ ALUM STORE FRONT	②⑨ ARCHITECTURAL PRECAST - BUFF
⑥ SLIDING DOOR	⑭ CAST STONE 16" X 24" BLOCKS	㉒ MULTI-SLIDE DOOR	③⑩ ARCHITECTURAL PRECAST - ACCENT BAND
⑦ FIBER CEMENT LAP SIDING- WHITE TBD	⑮ CAST STONE BAND	㉓ METAL COPING (MATCH ADJ. COLOR)	
⑧ FIBER CEMENT LAP SIDING - GREY TBD	⑯ GARAGE DOOR	㉔ MAGIC PAK LOUVER - PT TO MATCH ADJ.	



1 SOUTH EXTERIOR ELEVATION
1" = 10' - 0"

NOT FOR CONSTRUCTION



2 SOUTH EXTERIOR ELEVATION CONTINUED
1" = 10' - 0"

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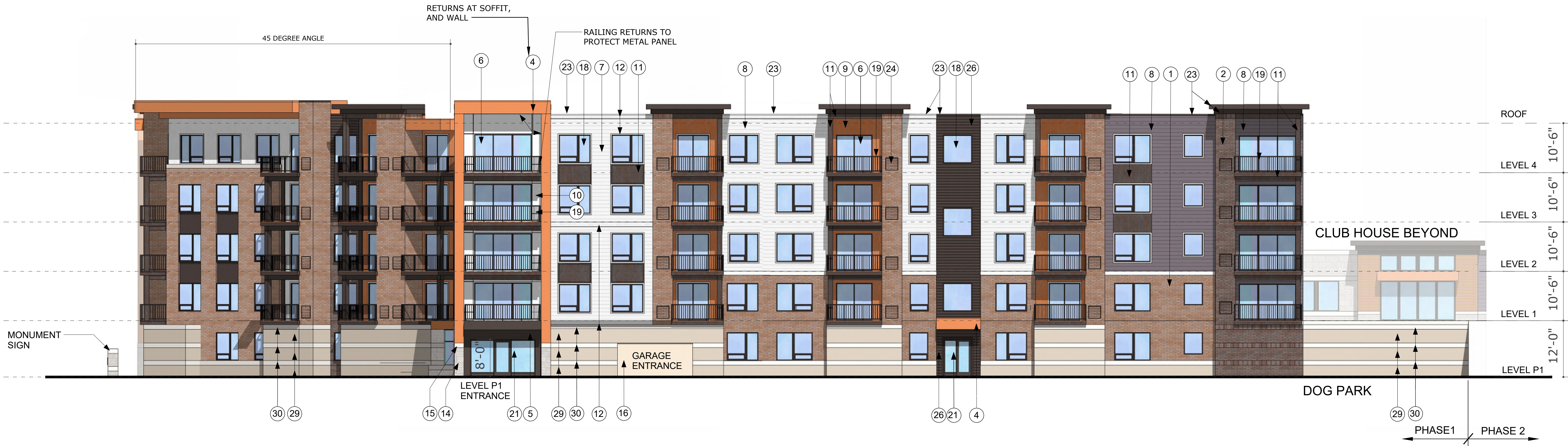
SHEET TITLE
EXTERIOR ELEVATIONS RESIDENCE

SHEET NUMBER

EXTERIOR MATERIAL LEDGEND							
①	FACE BRICK 1 (RED BLEND TBD)	⑨	FIBER CEMENT PANEL 1 (COLOR 2 TBD)	⑰	OVERHEAD COILING DOOR - PT TO MATCH	②⑤	FACE BRICK 3 (TAN BLEND TBD)
②	FACE BRICK 2 (DARK BLEND TBD)	⑩	FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱	WINDOW	②⑥	CORRUGATED METAL PANEL
③	ARCH EXT PNL 1 (COLOR 1 TBD)	⑪	FIBER CEMENT PANEL 3 (COLOR 3 TBD)	⑲	METAL RAILING	②⑦	ALUMINUM TRELLIS - PAINT
④	ARCH EXT PNL 2 (COLOR 2 TBD)	⑫	FIBER CEMENT TRIM - WHITE TBD	⑳	METAL DOOR - PAINT TO MATCH ADJ. COLOR)	②⑧	STANDING SEAM METAL ROOF
⑤	ARCH EXT PNL 3 (COLOR 3 TBD)	⑬	FIBER CEMENT TRIM - DARK TBD	㉑	ALUM STORE FRONT	②⑨	ARCHITECTURAL PRECAST - BUFF
⑥	SLIDING DOOR	⑭	CAST STONE 16" X 24" BLOCKS	㉒	MULTI-SLIDE DOOR	③⑩	ARCHITECTURAL PRECAST - ACCENT BAND
⑦	FIBER CEMENT LAP SIDING- WHITE TBD	⑮	CAST STONE BAND	㉓	METAL COPING (MATCH ADJ. COLOR)		
⑧	FIBER CEMENT LAP SIDING - GREY TBD	⑯	GARAGE DOOR	㉔	MAGIC PAK LOUVER - PT TO MATCH ADJ.		



1 EAST EXTERIOR ELEVATION
1" = 10' - 0"



2 WEST EXTERIOR ELEVATION
1" = 10' - 0"

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EXTERIOR
ELEVATIONS
RESIDENCE

SHEET NUMBER

A 3.3

EXTERIOR MATERIAL LEDGEND			
① FACE BRICK 1 (RED BLEND TBD)	⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD)	⑰ OVERHEAD COILING DOOR - PT TO MATCH	②⑤ FACE BRICK 3 (TAN BLEND TBD)
② FACE BRICK 2 (DARK BLEND TBD)	⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱ WINDOW	②⑥ CORRUGATED METAL PANEL
③ ARCH EXT PNL 1 (COLOR 1 TBD)	⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD)	⑲ METAL RAILING	②⑦ ALUMINUM TRELLIS - PAINT
④ ARCH EXT PNL 2 (COLOR 2 TBD)	⑫ FIBER CEMENT TRIM - WHITE TBD	⑳ METAL DOOR - PAINT TO MATCH ADJ. COLOR)	②⑧ STANDING SEAM METAL ROOF
⑤ ARCH EXT PNL 3 (COLOR 3 TBD)	⑬ FIBER CEMENT TRIM - DARK TBD	㉑ ALUM STORE FRONT	②⑨ ARCHITECTURAL PRECAST - BUFF
⑥ SLIDING DOOR	⑭ CAST STONE 16" X 24" BLOCKS	㉒ MULTI-SLIDE DOOR	③⑩ ARCHITECTURAL PRECAST - ACCENT BAND
⑦ FIBER CEMENT LAP SIDING- WHITE TBD	⑮ CAST STONE BAND	㉓ METAL COPING (MATCH ADJ. COLOR)	
⑧ FIBER CEMENT LAP SIDING - GREY TBD	⑯ GARAGE DOOR	㉔ MAGIC PAK LOUVER - PT TO MATCH ADJ.	



1 WEST EXTERIOR ELEVATION AT EAST WING
1" = 10' - 0"



3 OVERALL AERIAL LOOKING NORTH EAST



4 AERIAL LOOKING NE AT PHASE 1 PARKING COURT YARD

ARCHITECT:

DORAN
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952-288-2000
952-288-2031 fax

REGISTRATION

DESIGN ARCHITECT:

ISSUE RECORD
No. Description Date

NOT FOR CONSTRUCTION

PROJECT
SILVER LAKE
VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007
DATE
11/05/2019
PROJECT MANAGER
MICHAEL DUNN
DRAWN BY
BEN LINDAU
CHECKED BY
EVAN DORAN

PREPARED FOR
DORAN
COMPANIES
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Bloomington, MN 55439
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952-288-2031 fax

SHEET TITLE
EXTERIOR
ELEVATIONS
RESIDENCE

SHEET NUMBER

EXTERIOR MATERIAL LEDGEND			
① FACE BRICK 1 (RED BLEND TBD)	⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD)	⑰ OVERHEAD COILING DOOR - PT TO MATCH	㉕ FACE BRICK 3 (TAN BLEND TBD)
② FACE BRICK 2 (DARK BLEND TBD)	⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱ WINDOW	㉖ CORRUGATED METAL PANEL
③ ARCH EXT PNL 1 (COLOR 1 TBD)	⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD)	⑲ METAL RAILING	㉗ ALUMINUM TRELLIS - PAINT
④ ARCH EXT PNL 2 (COLOR 2 TBD)	⑫ FIBER CEMENT TRIM - WHITE TBD	⑳ METAL DOOR - PAINT TO MATCH ADJ. COLOR)	㉘ STANDING SEAM METAL ROOF
⑤ ARCH EXT PNL 3 (COLOR 3 TBD)	⑬ FIBER CEMENT TRIM - DARK TBD	㉑ ALUM STORE FRONT	㉙ ARCHITECTURAL PRECAST - BUFF
⑥ SLIDING DOOR	⑭ CAST STONE 16" X 24" BLOCKS	㉒ MULTI-SLIDE DOOR	㉚ ARCHITECTURAL PRECAST - ACCENT BAND
⑦ FIBER CEMENT LAP SIDING- WHITE TBD	⑮ CAST STONE BAND	㉓ METAL COPING (MATCH ADJ. COLOR)	
⑧ FIBER CEMENT LAP SIDING - GREY TBD	⑯ GARAGE DOOR	㉔ MAGIC PAK LOUVER - PT TO MATCH ADJ.	



① EAST EXTERIOR ELEVATION AT WEST WING
1" = 10' - 0"



② AERIAL LOOKING NW AT AMENITY DECK



③ PEDESTRIAN VIEW AT MAIN ENTRANCE

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A 3.5



① PEDESTRIAN VIEW @ NE CORNER FROM CHIPOLTLE



② PEDESTRIAN VIEW @ NW CORNER FROM SALO PARK



③ PEDESTRIAN VIEW LOOKING WEST DOWN CUB FOODS CORRIDOR



④ AERIAL LOOKING NE AT AMENITY DECK

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SAINT ANTHONY, MN

PROJECT NUMBER
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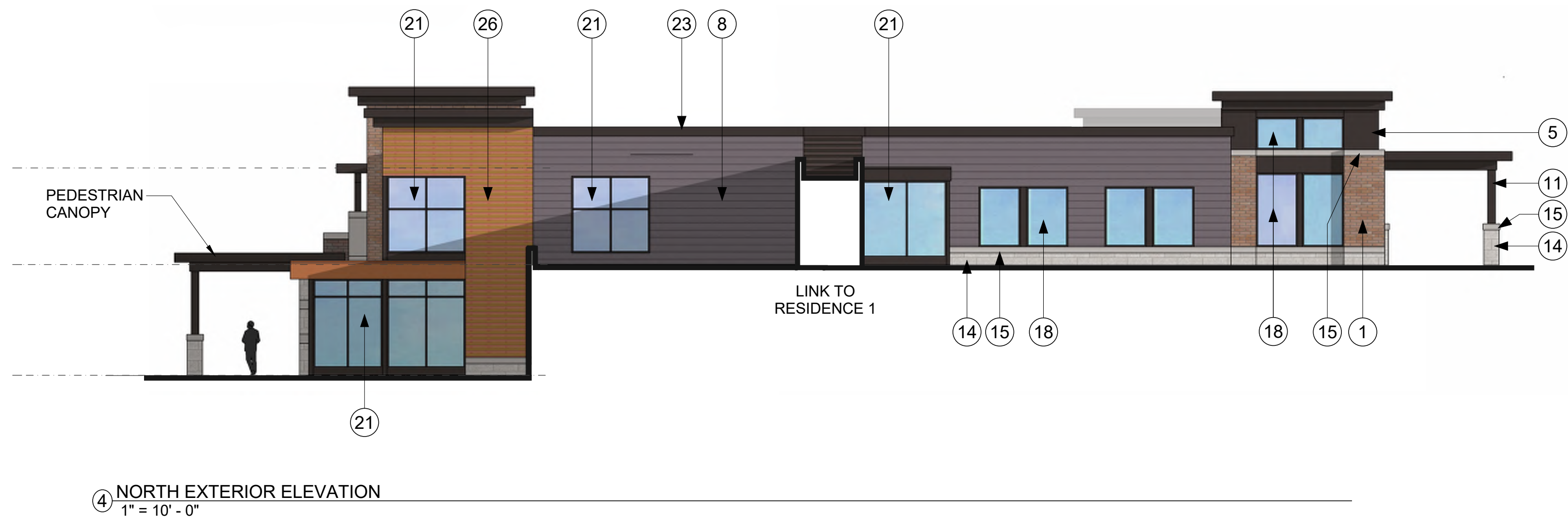
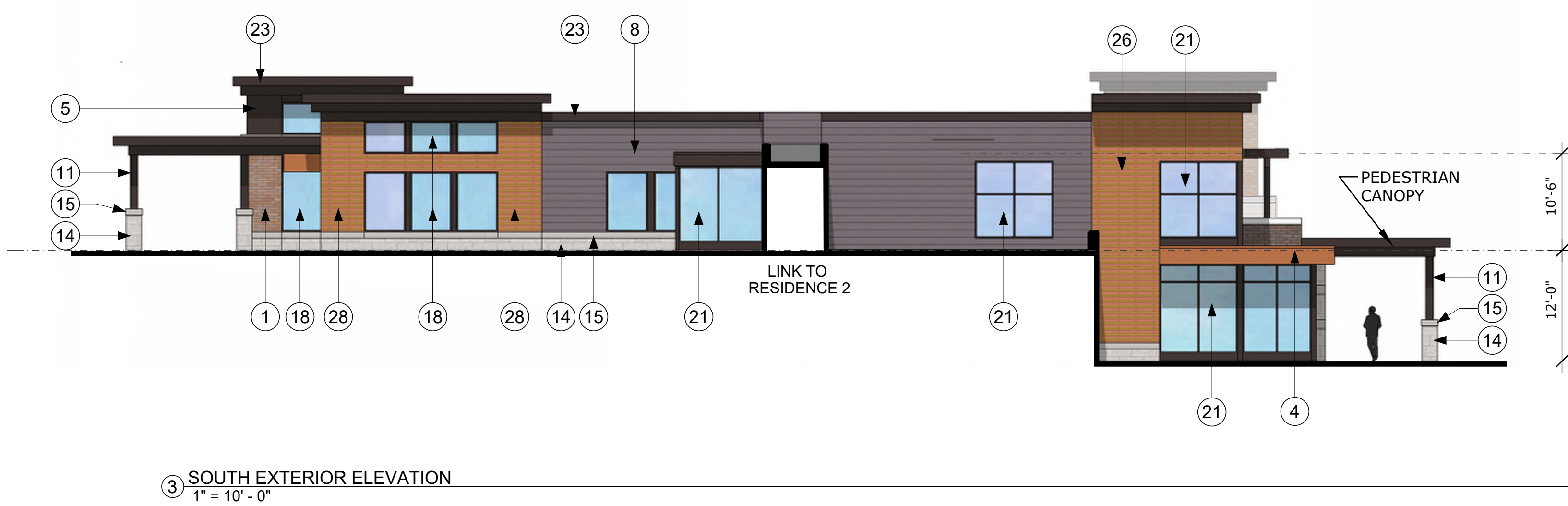
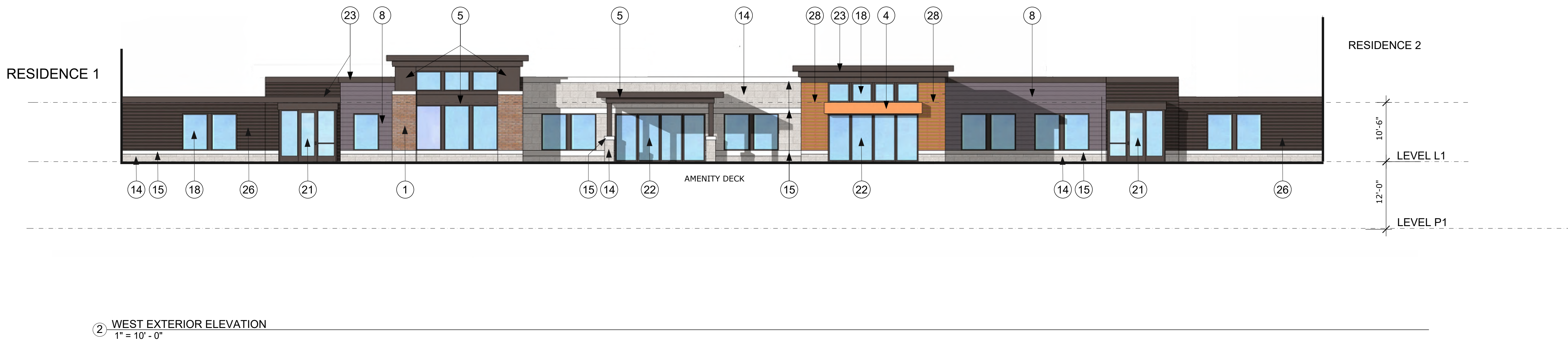
SHEET TITLE

EXTERIOR
ELEVATIONS
RESIDENCE

SHEET NUMBER

A 3.6

EXTERIOR MATERIAL LEDGEND			
1 FACE BRICK 1 (RED BLEND TBD)	9 FIBER CEMENT PANEL 1 (COLOR 2 TBD)	17 OVERHEAD COILING DOOR - PT TO MATCH	25 FACE BRICK 3 (TAN BLEND TBD)
2 FACE BRICK 2 (DARK BLEND TBD)	10 FIBER CEMENT PANEL 2 (COLOR 1 TBD)	18 WINDOW	26 CORRUGATED METAL PANEL
3 ARCH EXT PNL 1 (COLOR 1 TBD)	11 FIBER CEMENT PANEL 3 (COLOR 3 TBD)	19 METAL RAILING	27 ALUMINUM TRELLIS - PAINT
4 ARCH EXT PNL 2 (COLOR 2 TBD)	12 FIBER CEMENT TRIM - WHITE TBD	20 METAL DOOR - PAINT TO MATCH ADJ. COLOR)	28 STANDING SEAM METAL ROOF
5 ARCH EXT PNL 3 (COLOR 3 TBD)	13 FIBER CEMENT TRIM - DARK TBD	21 ALUM STORE FRONT	29 ARCHITECTURAL PRECAST - BUFF
6 SLIDING DOOR	14 CAST STONE 16" X 24" BLOCKS	22 MULTI-SLIDE DOOR	30 ARCHITECTURAL PRECAST - ACCENT BAND
7 FIBER CEMENT LAP SIDING - WHITE TBD	15 CAST STONE BAND	23 METAL COPING (MATCH ADJ. COLOR)	
8 FIBER CEMENT LAP SIDING - GREY TBD	16 GARAGE DOOR	24 MAGIC PAK LOUVER - PT TO MATCH ADJ.	



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VILLAGE

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SHEET TITLE

EXTERIOR
ELEVATIONS
CLUB HOUSE

SHEET NUMBER

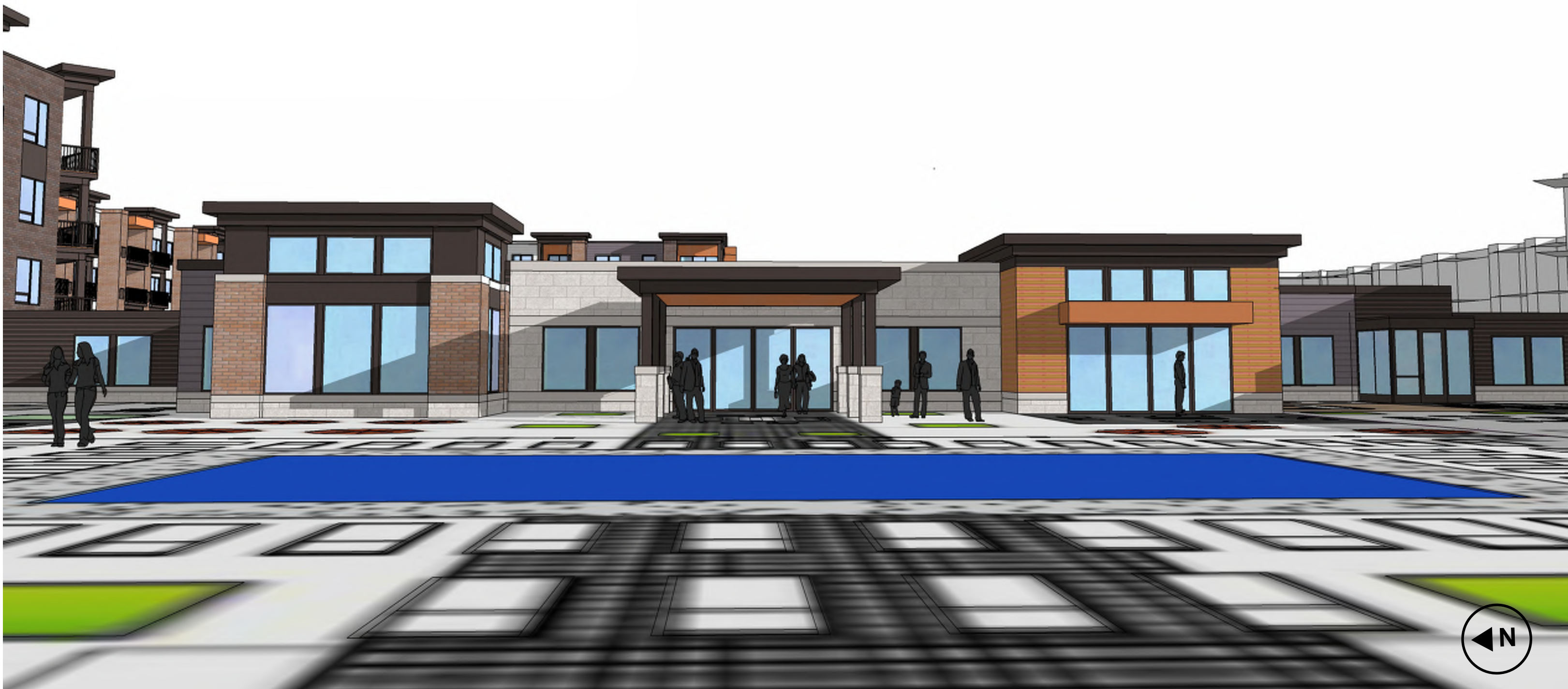
A 3.7



① AERIAL LOOKING SOUTHWEST



② ENTRANCE APPROACH



③ VIEW POOL SIDE



④ AERIAL LOOKING SOUTH EAST

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SHEET TITLE

**EXTERIOR
ELEVATIONS
CLUB HOUSE**

SHEET NUMBER

REGISTRATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDESMAN		
DATE:	11/5/2019	MN LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

WATER STORM SEWER & SANITARY SEWER NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL, AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIRED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL, AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDEL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10' AND A VERTICAL CLEARANCE OF 18" BETWEEN WATER AND SANITARY SEWER MANHOLES AND LINES.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.
- UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
- ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 1% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.
- ALL ROOF AND SANITARY SEWER DRAINS SHALL BE INSULATED IF 7" OF COVER CANNOT BE PROVIDED.
- THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
- A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
- GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
- COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
- ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
- REFERENCE ARCHITECTURAL PLANS (BY OTHERS), FOR EXACT BUILDING DIMENSIONS, AND MATERIALS SPECIFICATIONS.
- REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND PAD PREPARATION SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR LIGHT POLE WIRING.

GRADING AND DRAINAGE NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
- CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
- BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MINDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADINGS, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MINDOT SPECIFICATION.
- ALL CONCRETE/ASPHALT SHALL BE INSTALLED PER GEOTECH REPORT, CITY OF ST. ANTHONY AND MINDOT SPECIFICATIONS.
- SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
- BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
- ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS, 1.2% FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.
- ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A.). GRADING FOR ALL SIDEWALKS ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

REFER TO GEOTECHNICAL REPORT NO. B1904707
BRAUN INTEREC CORPORATION
11001 HAMPSHIRE AVENUE S
MINNEAPOLIS, MN 55438
DATED JULY 19,2019

EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO PUBLIC AREAS SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.
- ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ST. ANTHONY ENGINEERING DIVISION.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL HAVE TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE. ANY REVISIONS TO THE EROSION CONTROL PLAN MADE BY THE CONTRACTOR MUST BE APPROVED BY THE ENGINEER.

PAVING AND STRIPING NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR MINDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND CITY STANDARDS.
- CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
- ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
- THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
- ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
- THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
- CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
- ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A.). GRADING FOR ALL SIDEWALKS ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE MN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION), GENERAL SPECIFICATIONS FOR THE VILLAGE OF ST. ANTHONY, THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS, AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIACSE 3802, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE F.H.A. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.

EROSION CONTROL MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL OWNER/ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES

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LEGEND

	PROPERTY LINE		EXISTING SIGN
	REMOVE BITUMINOUS SURFACE		EXISTING FLARED END SECTION
	REMOVE CONCRETE SURFACE		EXISTING STORM MANHOLE
	REMOVE BUILDING		EXISTING STORM CATCHBASIN
	CLEARING & GRUBBING		EXISTING GAS METER
	FULL DEPTH SAWCUT		EXISTING POST INDICATOR VALVE
	PROTECT ITEM		EXISTING WELL
	REMOVE CONCRETE CURB & GUTTER		EXISTING AUTOMATIC SPRINKLER
	REMOVE UTILITY LINES		EXISTING ROOF DRAIN
	FILL & ABANDON UTILITY LINES		EXISTING GATE VALVE
	LIMITS OF CONSTRUCTION		EXISTING HYDRANT
	EXISTING CHAINLINK FENCE		EXISTING METAL COVER
	EXISTING RETAINING WALL		EXISTING ELECTRICAL METER
	EXISTING SANITARY SEWER		EXISTING AIR CONDITIONER
	EXISTING STORM SEWER		EXISTING TELEPHONE MANHOLE
	EXISTING WATERMAIN		EXISTING CABLE BOX
	EXISTING GAS MAIN		EXISTING GUY WIRE
	EXISTING UNDERGROUND TELEPHONE		EXISTING POWER POLE
	EXISTING CURB & GUTTER		EXISTING LIGHT POLE
			EXISTING TREE
			EXISTING TREE LINE

KEYNOTE LEGEND

(A)	REMOVE EXISTING BITUMINOUS PAVEMENT
(B)	REMOVE EXISTING CONCRETE PAVEMENT
(C)	REMOVE CURB AND GUTTER
(D)	REMOVE EXISTING BOLLARDS
(E)	REMOVE EXISTING UTILITIES
(F)	REMOVE EXISTING BUILDING, AND ASSOCIATED FOUNDATIONS/FEATURES
(G)	REMOVE EXISTING LIGHT POLE/POWER POLE/SIGN AND ASSOCIATED FOUNDATIONS/FEATURES
(H)	REMOVE EXISTING SIGN
(I)	CLEARING AND GRUBBING
(J)	REMOVE EXISTING WALL
(K)	REMOVE STORM STRUCTURE
(L)	REMOVE EXISTING FLAG POLE
(M)	REMOVE EXISTING MAIL COLLECTION BOX
(N)	REMOVE EXISTING FENCE
(O)	SAWCUT LINE
(P)	REMOVE EXISTING ELECTRICAL EQUIPMENT
(Q)	PROTECT EXISTING UTILITIES
(R)	PROTECT STORM STRUCTURE, ADJUST CASTING TO MATCH FINISHED GRADE
(S)	PROTECT EXISTING HYDRANT
(T)	PROTECT EXISTING LIGHT POLE
(U)	REMOVE & REPLACE EXISTING HYDRANT

DEMOLITION PLAN NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH ST. ANTHONY, RAMSEY COUNTY AND MNDOT.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF ST. ANTHONY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

ENGINEER

Kimley»Horn

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REGISTRATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDEMAN

DATE: 11/5/2019 MN LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER

19-007

DATE

11/05/2019

PROJECT MANAGER

MGC

DRAWN BY

BPG

CHECKED BY

BMW

PREPARED FOR

DORAN COMPANIES

7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

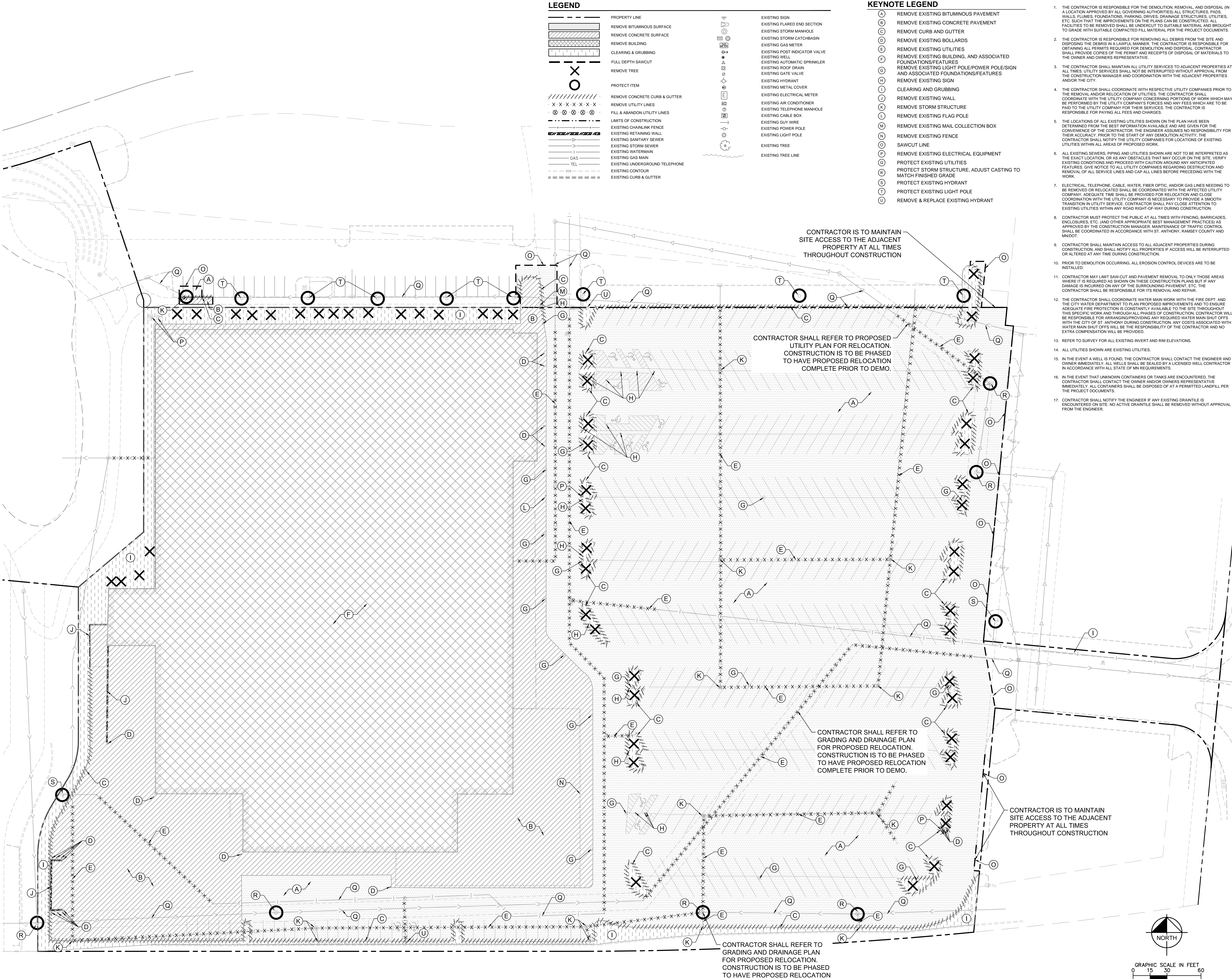
SHEET TITLE

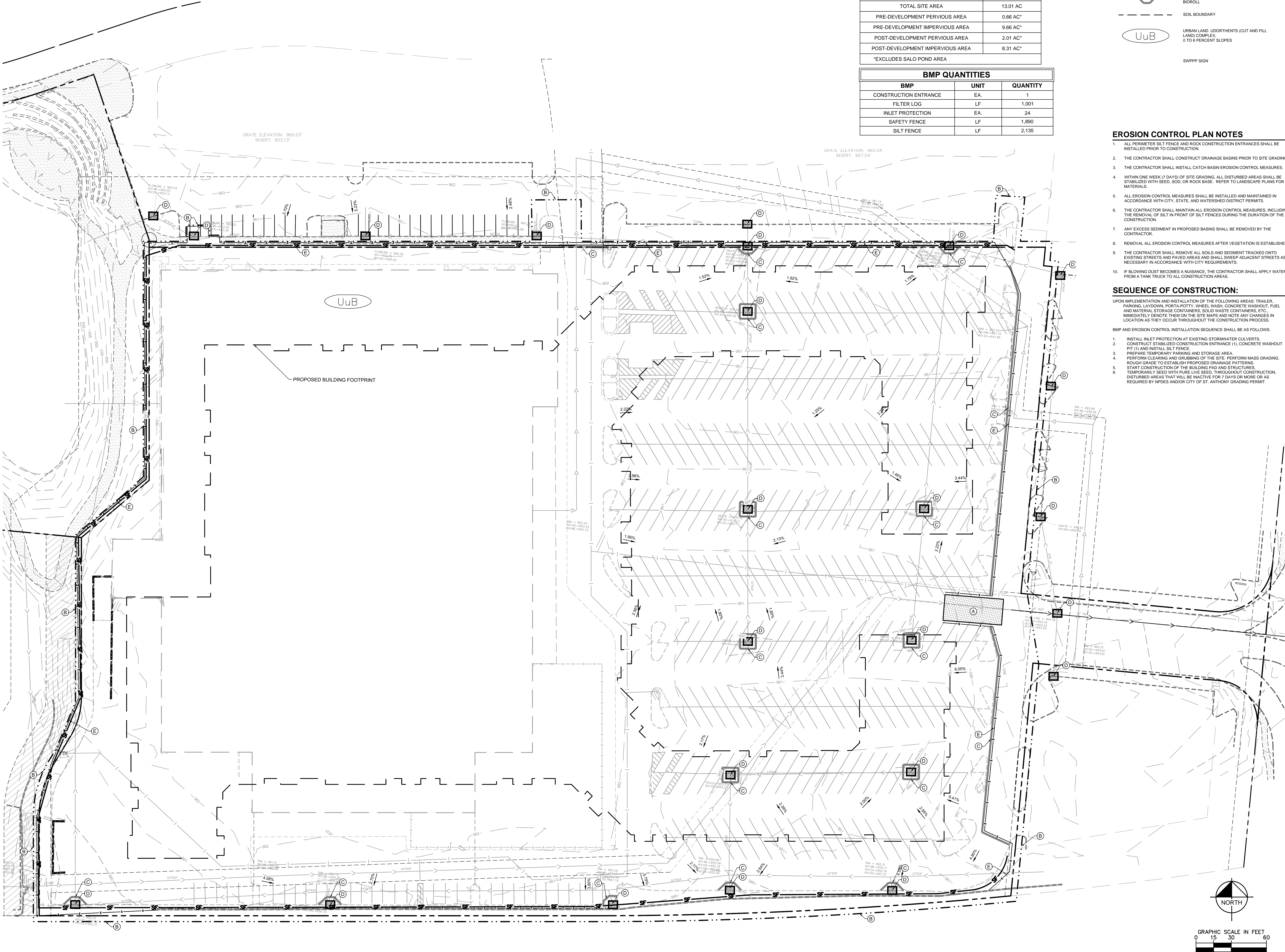
DEMO PLAN

SHEET NUMBER

C200

PLOT DATE: 8/29/2019 8:01:32 AM





- CONSTRUCTION LEGEND**
- (A) CONSTRUCTION ENTRANCE
 - (B) LIMITS OF DISTURBANCE, OFFSET FROM BACK OF CURB/PROPERTY LINE FOR CLARITY
 - (C) BIO-ROLL
 - (D) INLET PROTECTION
 - (E) CONSTRUCTION SAFETY FENCE, OFFSET FROM BACK OF CURB/PROPERTY LINE FOR CLARITY

LIMITS OF DISTURBANCE	10.56 AC
TOTAL SITE AREA	13.01 AC
PRE-DEVELOPMENT PERVIOUS AREA	0.66 AC*
PRE-DEVELOPMENT IMPERVIOUS AREA	9.66 AC*
POST-DEVELOPMENT PERVIOUS AREA	2.01 AC*
POST-DEVELOPMENT IMPERVIOUS AREA	8.31 AC*
*EXCLUDES SALO POND AREA	

BMP QUANTITIES		
BMP	UNIT	QUANTITY
CONSTRUCTION ENTRANCE	EA.	1
FILTER LOG	LF	1,001
INLET PROTECTION	EA.	24
SAFETY FENCE	LF	1,890
SILT FENCE	LF	2,135

LEGEND

- ROCK ENTRANCE
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- BIOROLL
- SOIL BOUNDARY
- URBAN LAND UNDERTHENTS (CUT AND FILL LAND) COMPLEX 5 TO 6 PERCENT SLOPES
- SWPPP SIGN

ENGINEER

Kimley»Horn

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REGISTRATION

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BRIAN M. WURDEMAN

DATE: 11/5/2019 MN LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

EROSION CONTROL PLAN NOTES

- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOO, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

SEQUENCE OF CONSTRUCTION:

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1). CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF ST. ANTHONY GRADING PERMIT.

FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR

DORAN COMPANIES

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Bloomington, MN 55439
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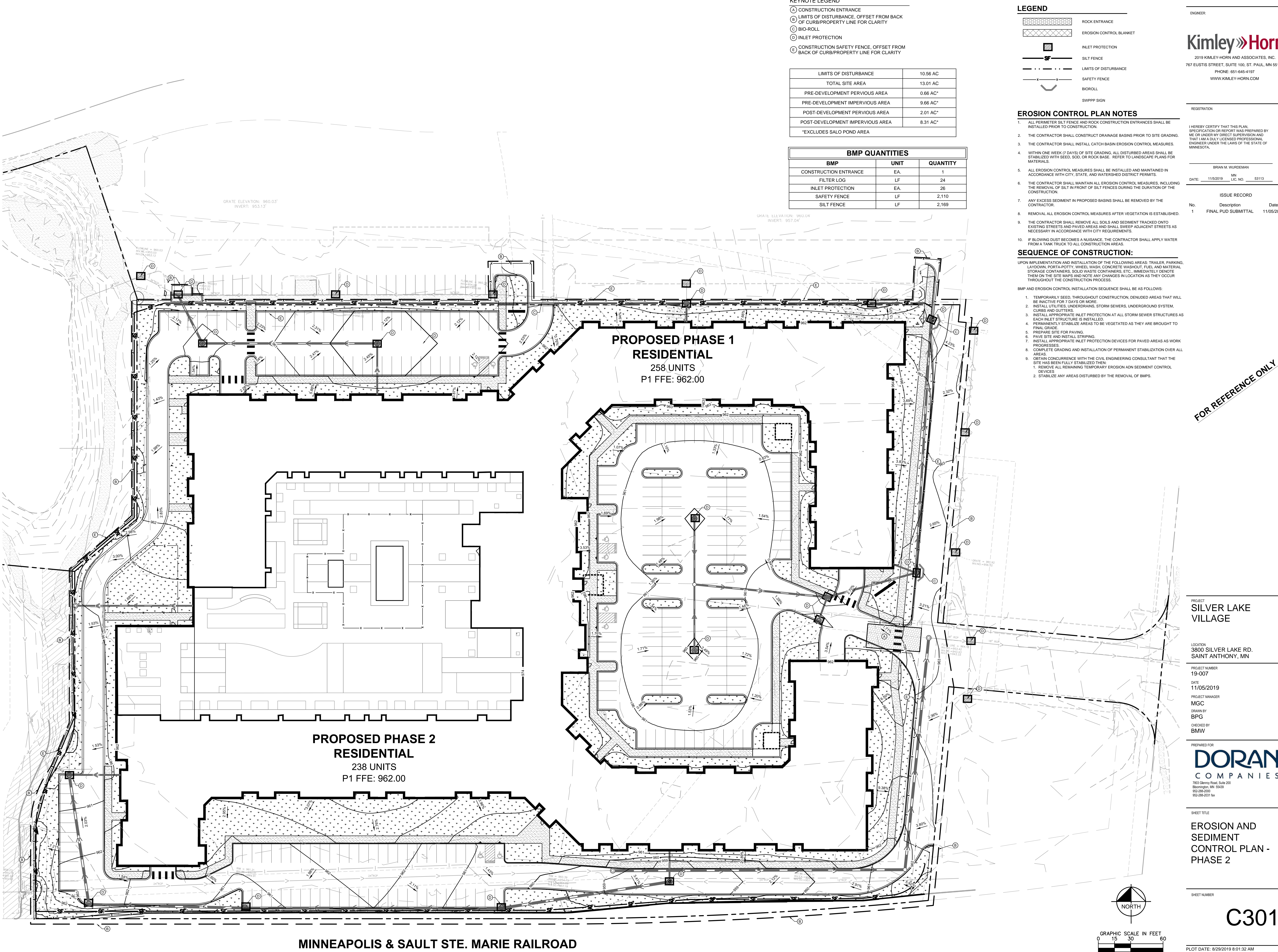
SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN - PHASE 1

SHEET NUMBER

C300

PLOT DATE: 8/29/2019 8:01:32 AM



- KEYNOTE LEGEND**
- (A) CONSTRUCTION ENTRANCE
 - (B) LIMITS OF DISTURBANCE, OFFSET FROM BACK OF CURB/PROPERTY LINE FOR CLARITY
 - (C) BIO-ROLL
 - (D) INLET PROTECTION
 - (E) CONSTRUCTION SAFETY FENCE, OFFSET FROM BACK OF CURB/PROPERTY LINE FOR CLARITY

LIMITS OF DISTURBANCE	10.56 AC
TOTAL SITE AREA	13.01 AC
PRE-DEVELOPMENT PERVIOUS AREA	0.66 AC*
PRE-DEVELOPMENT IMPERVIOUS AREA	9.66 AC*
POST-DEVELOPMENT PERVIOUS AREA	2.01 AC*
POST-DEVELOPMENT IMPERVIOUS AREA	8.31 AC*
*EXCLUDES SALO POND AREA	

BMP QUANTITIES		
BMP	UNIT	QUANTITY
CONSTRUCTION ENTRANCE	EA.	1
FILTER LOG	LF	24
INLET PROTECTION	EA.	26
SAFETY FENCE	LF	2,110
SILT FENCE	LF	2,169

LEGEND

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- BIOROLL
- SWPPP SIGN

EROSION CONTROL PLAN NOTES

- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOO, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

SEQUENCE OF CONSTRUCTION:

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:

- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUEED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- INSTALL UTILITIES UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
- INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
- PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE SITE FOR PAVING.
- PAVE SITE AND INSTALL STRIPING.
- INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs.

ENGINEER

Kimley»Horn

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REGISTRATION

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BRIAN M. WURDEMAN

DATE: 11/5/2019 MN LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
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CHECKED BY
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PREPARED FOR

DORAN COMPANIES

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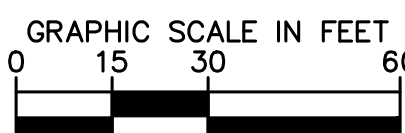
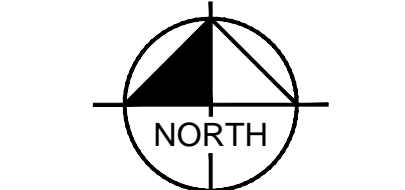
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EROSION AND SEDIMENT CONTROL PLAN - PHASE 2

SHEET NUMBER

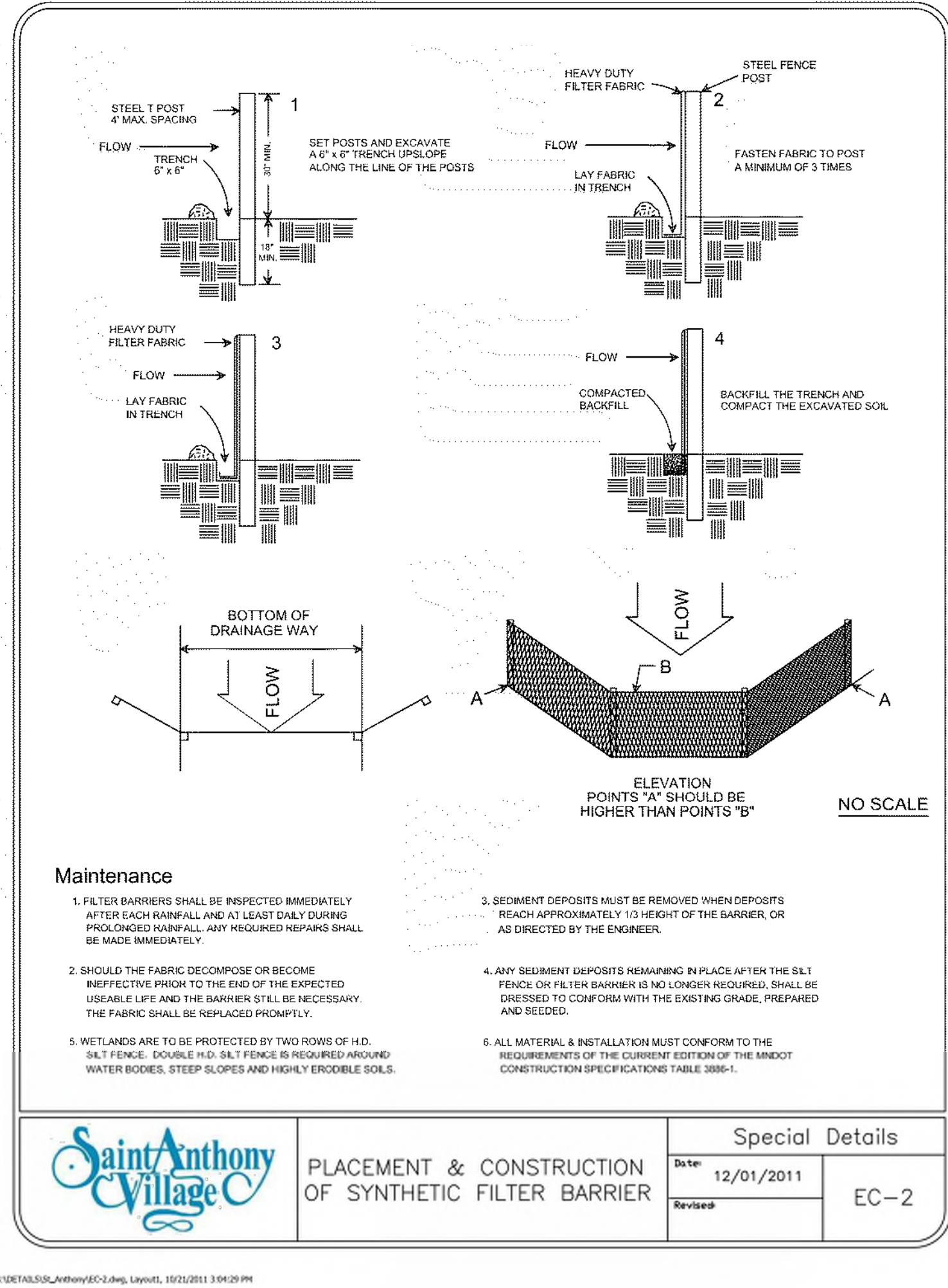
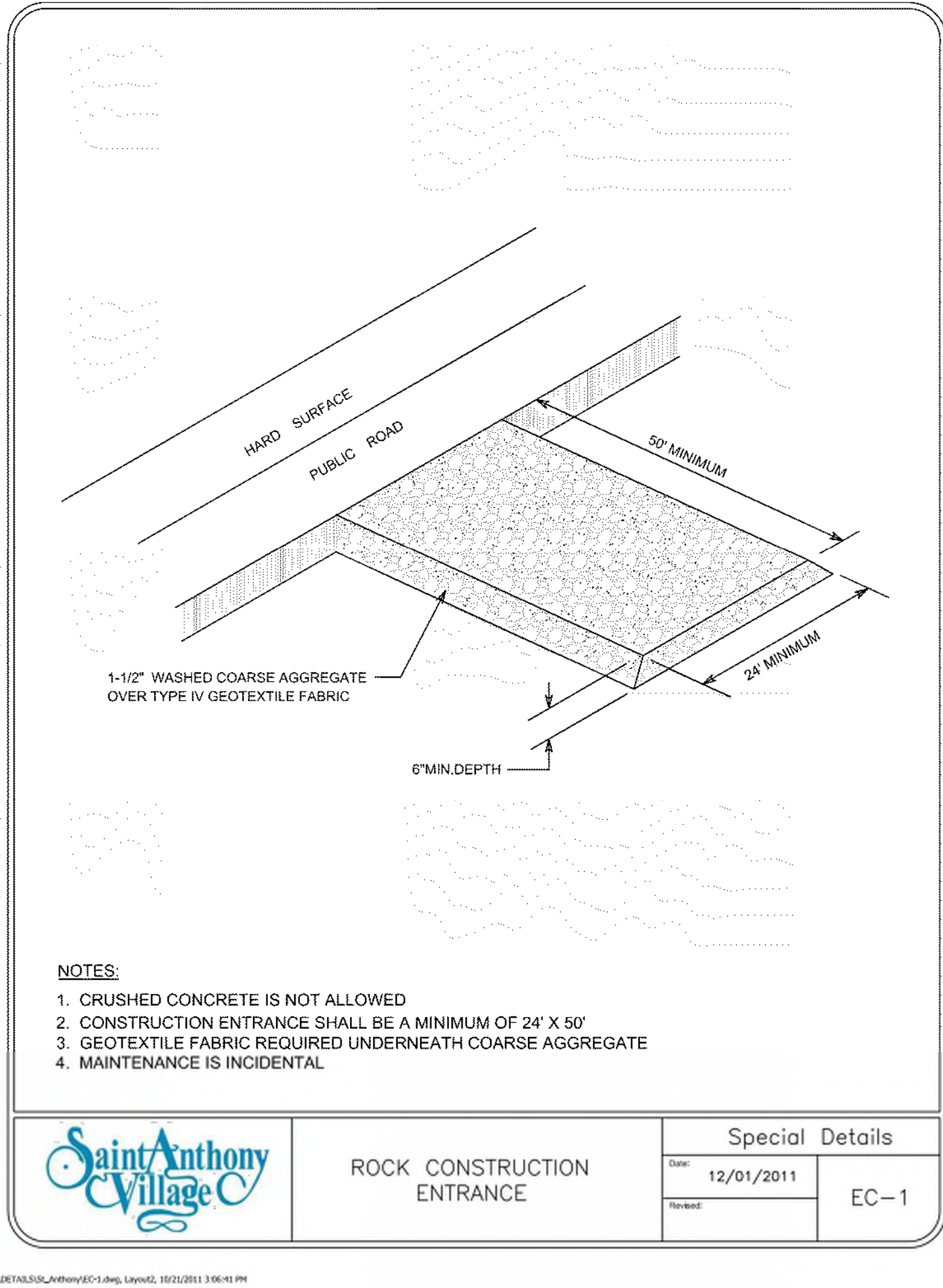
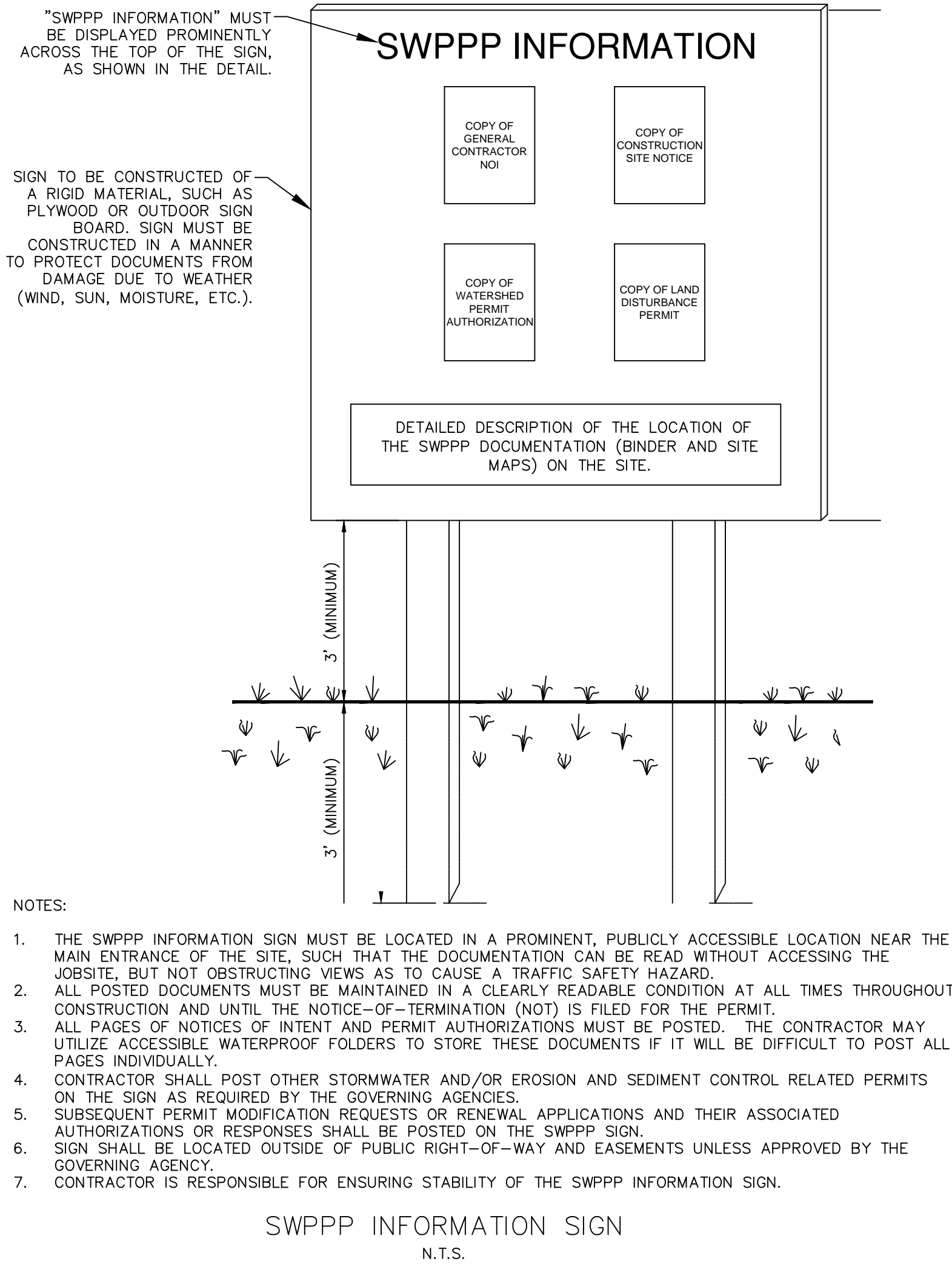
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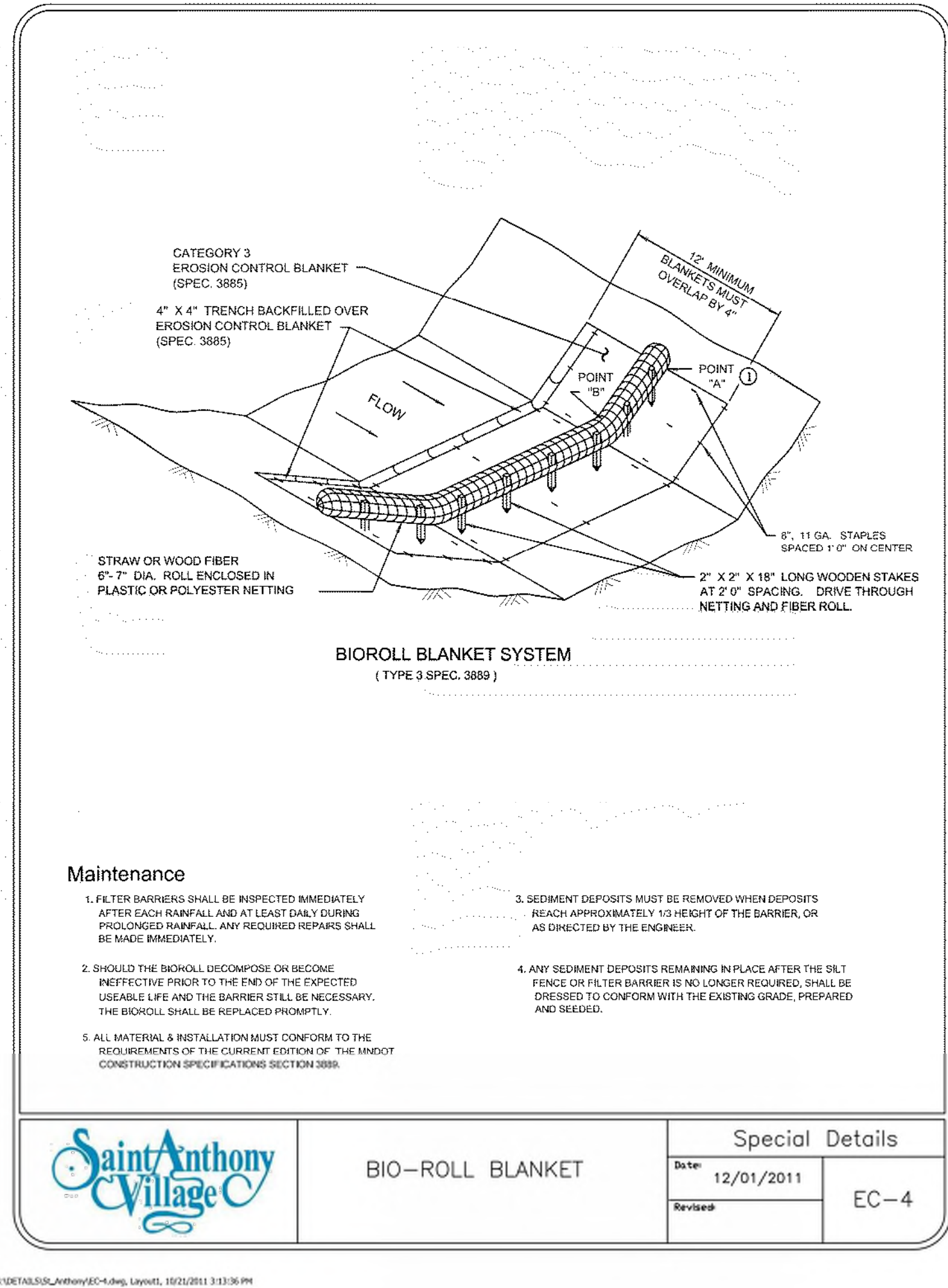
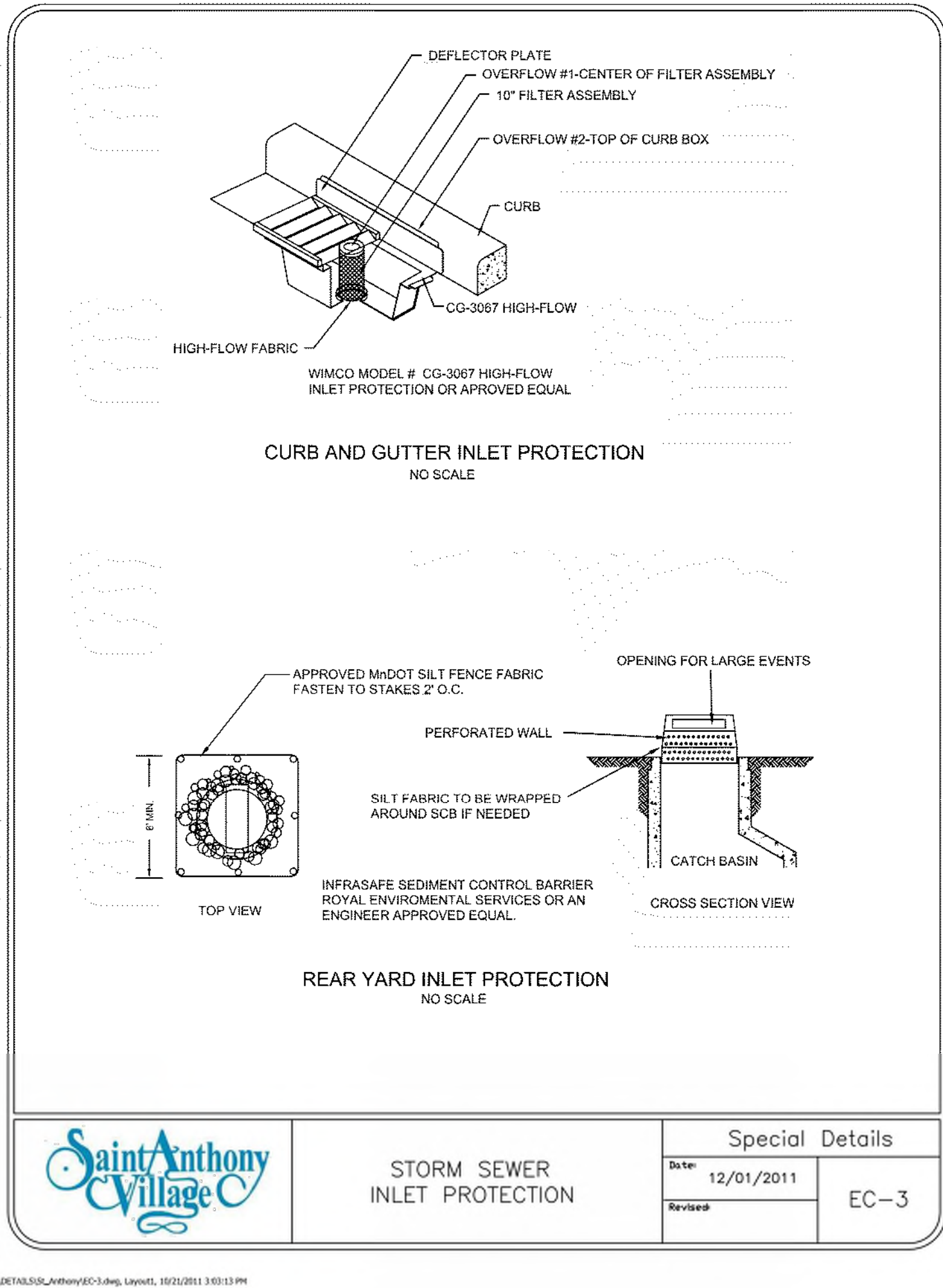


MINNEAPOLIS & SAULT STE. MARIE RAILROAD

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FOR REFERENCE ONLY



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SAINT ANTHONY, MN

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19-007

DATE
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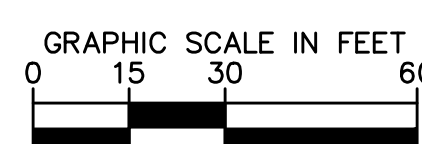
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DORAN COMPANIES

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952-285-2031 fax

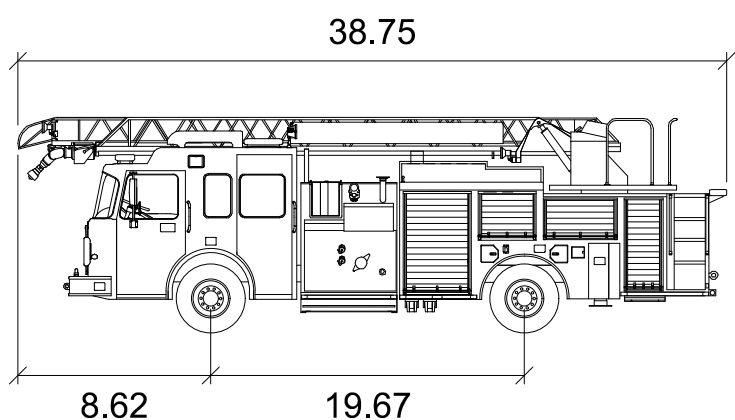
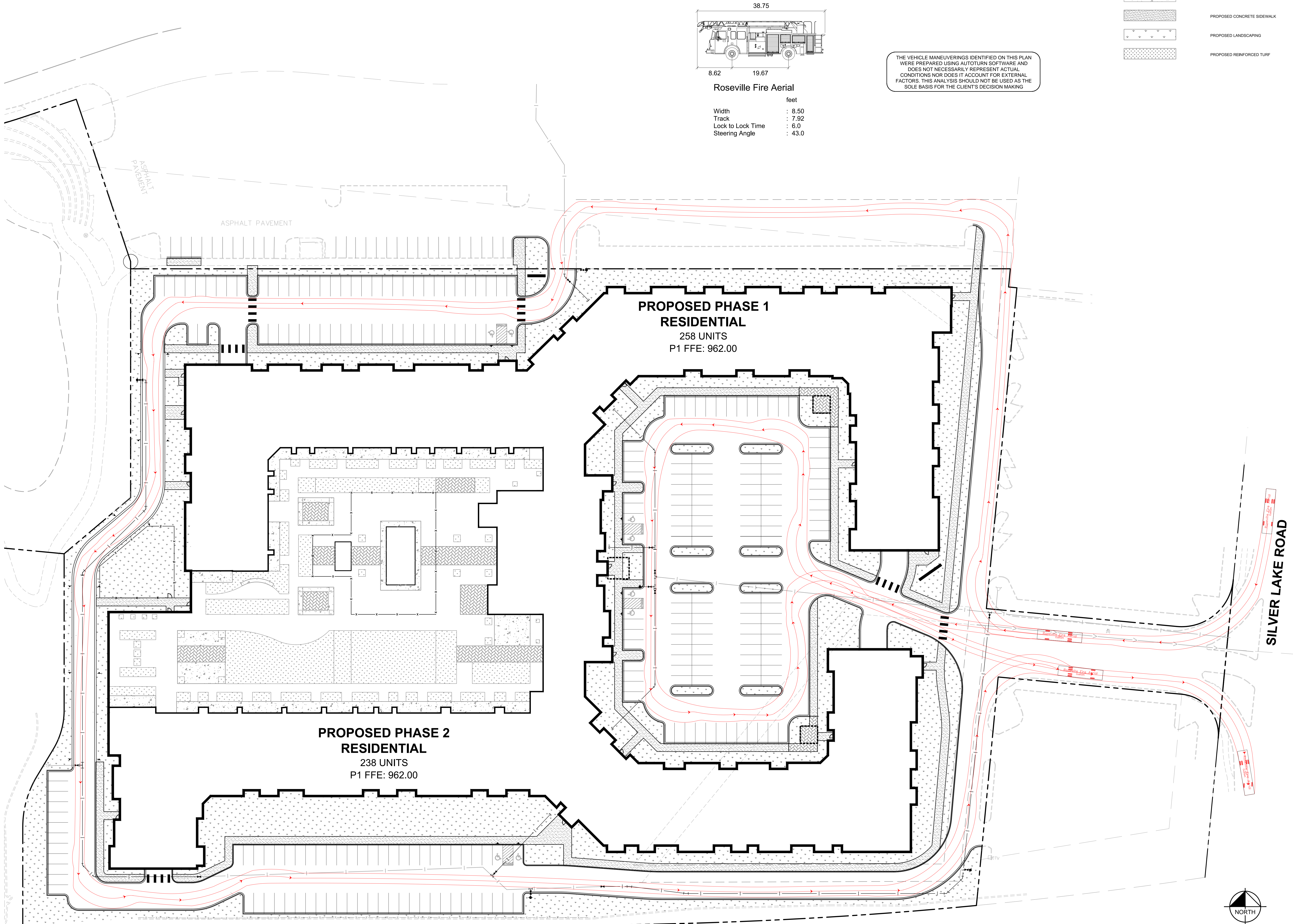
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SWPPP DETAILS

SHEET NUMBER

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Roseville Fire Aerial

	feet
Width	: 8.50
Track	: 7.92
Lock to Lock Time	: 6.0
Steering Angle	: 43.0

THE VEHICLE MANEUVERINGS IDENTIFIED ON THIS PLAN WERE PREPARED USING AUTOTURN SOFTWARE AND DOES NOT NECESSARILY REPRESENT ACTUAL CONDITIONS NOR DOES IT ACCOUNT FOR EXTERNAL FACTORS. THIS ANALYSIS SHOULD NOT BE USED AS THE SOLE BASIS FOR THE CLIENT'S DECISION MAKING

LEGEND	
	PROPERTY LINE
	RETAINING WALL
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPING
	PROPOSED REINFORCED TURF

ENGINEER:

Kimley»Horn

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BRIAN M. WURDEMAN	
DATE	11/5/2019
MN LIC. NO.	53113

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DATE
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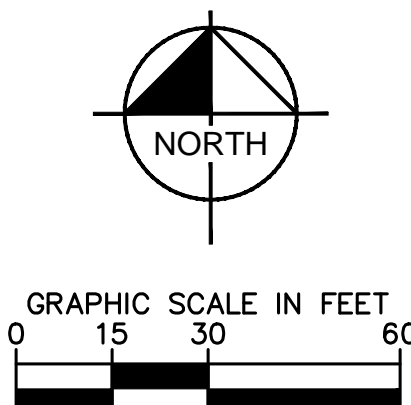
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FIRE TRUCK COVERAGE

SHEET NUMBER

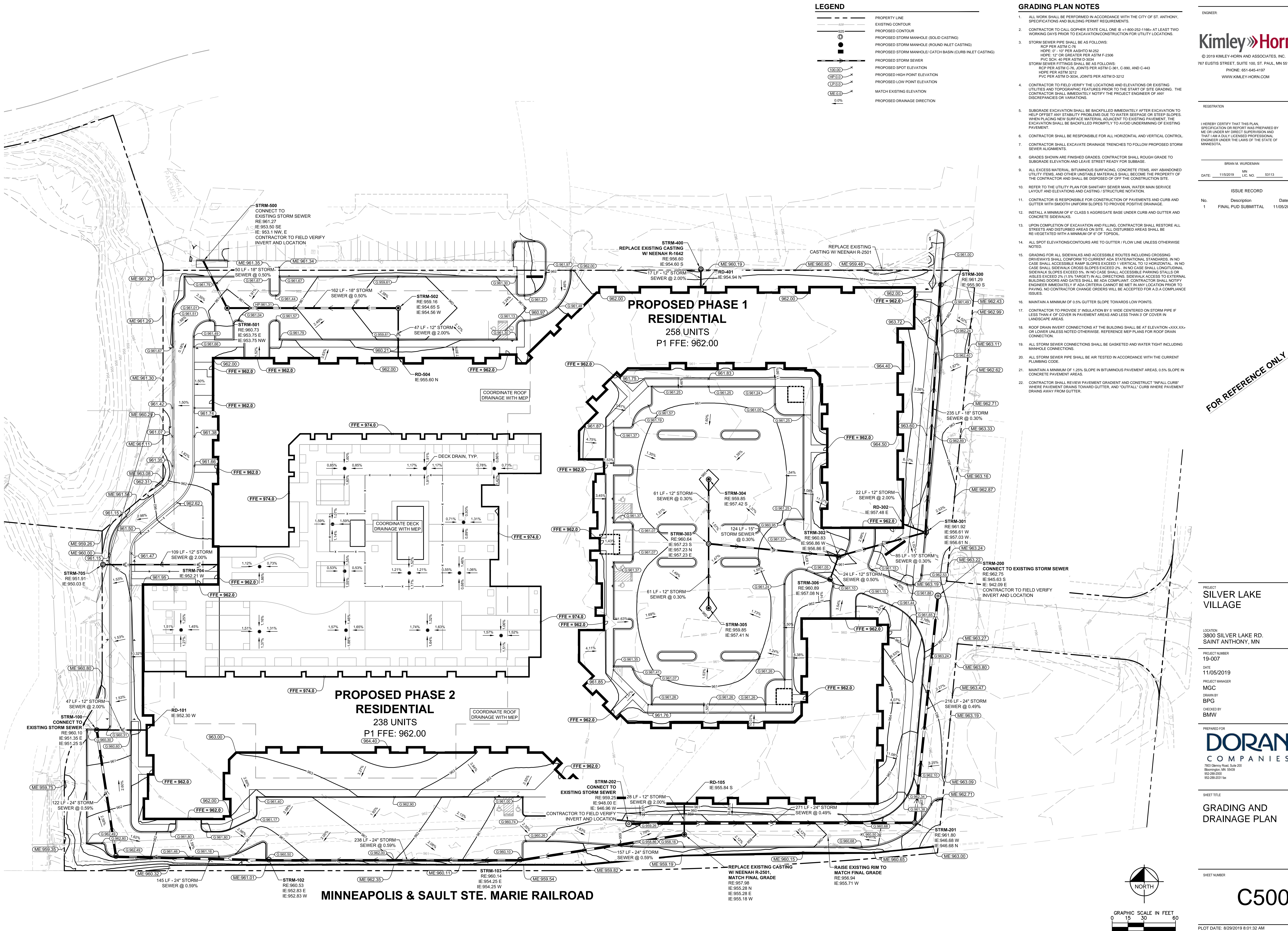
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MINNEAPOLIS & SAULT STE. MARIE RAILROAD

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LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED DRAINAGE DIRECTION

GRADING PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. ANTHONY, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HOPE: 0' - 10' PER ASHSTO M-252
HOPE: 12' OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-391, C-390, AND C-443
HOPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL, SEWER ALIGNMENTS.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE SURFACE READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING. STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 6" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 2" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATENATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
- ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

ENGINEER

Kimley»Horn

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BRIAN M. WURDEMAN

DATE: 11/5/2019
MINN. LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR

DORAN
COMPANIES

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SHEET TITLE

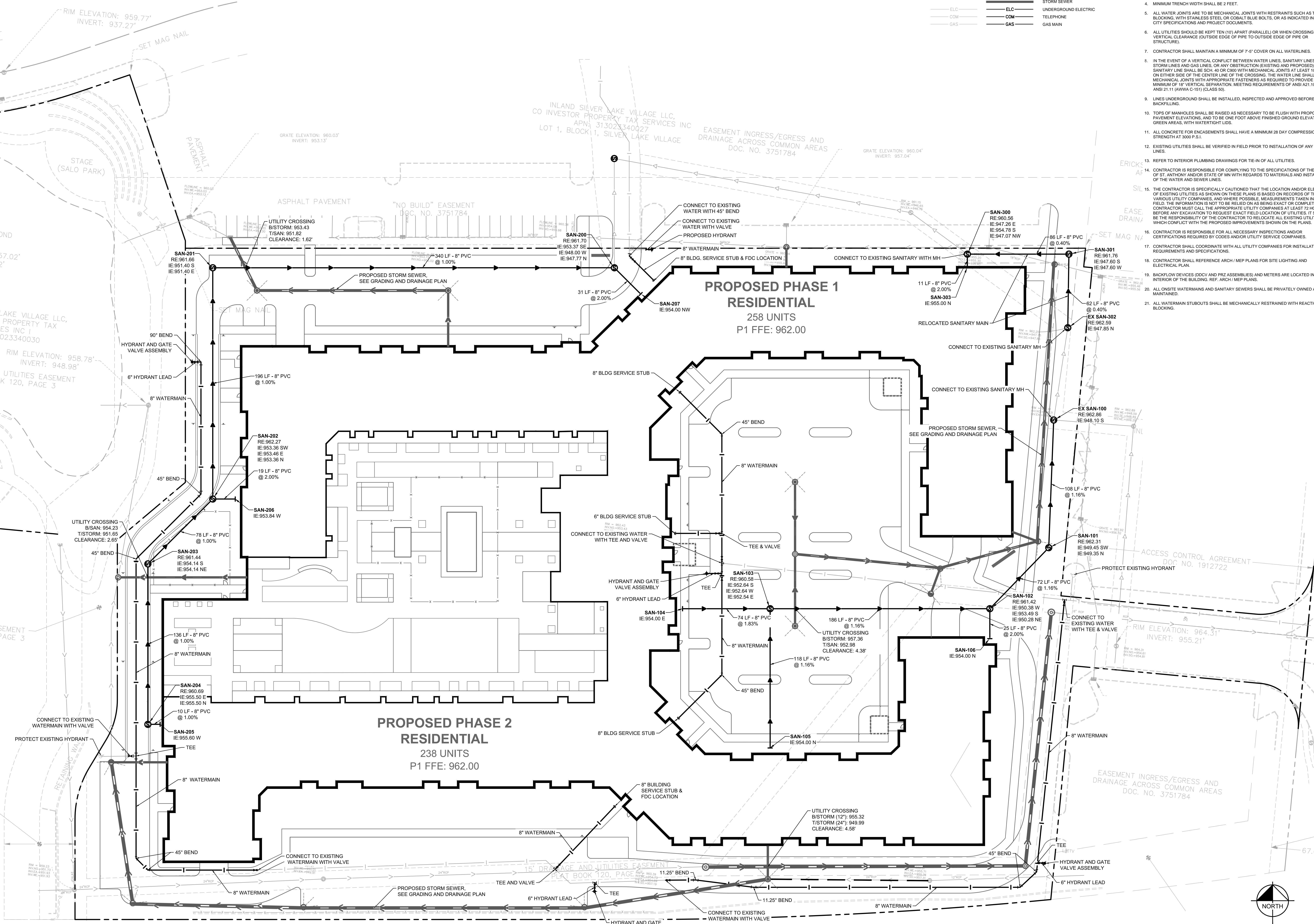
GRADING AND
DRAINAGE PLAN

SHEET NUMBER

C500

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LEGEND	
EXISTING	PROPOSED

UTILITY PLAN NOTES	
1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.	ENGINEER
2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS: 8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR35 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP 6" PVC SCHEDULE 40 PER ASTM D-3034 DUCTILE IRON PIPE PER AWWA C150	
3. WATER LINES SHALL BE AS FOLLOWS: 6" AND LARGER, PVC C-90 PER ASTM D 2241 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 100 4" AND LARGER DUCTILE IRON PIPE PER AWWA C150 SMALLER THAN 3" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.	
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.	
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR CORAL BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.	
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).	
7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.	
8. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI Z1.11 (AWWA C-151) (CLASS 50).	
9. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.	
10. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.	
11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.	
12. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.	
13. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.	
14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF ST. ANTHONY AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.	
15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.	
16. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.	
17. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.	
18. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.	
19. BACKFLOW DEVICES (DDCV AND PR2 ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.	
20. ALL ONSITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.	
21. ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.	

FOR REFERENCE ONLY

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SILVER LAKE VILLAGE

LOCATION
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SAINT ANTHONY, MN

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19-007

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11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR
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SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C600

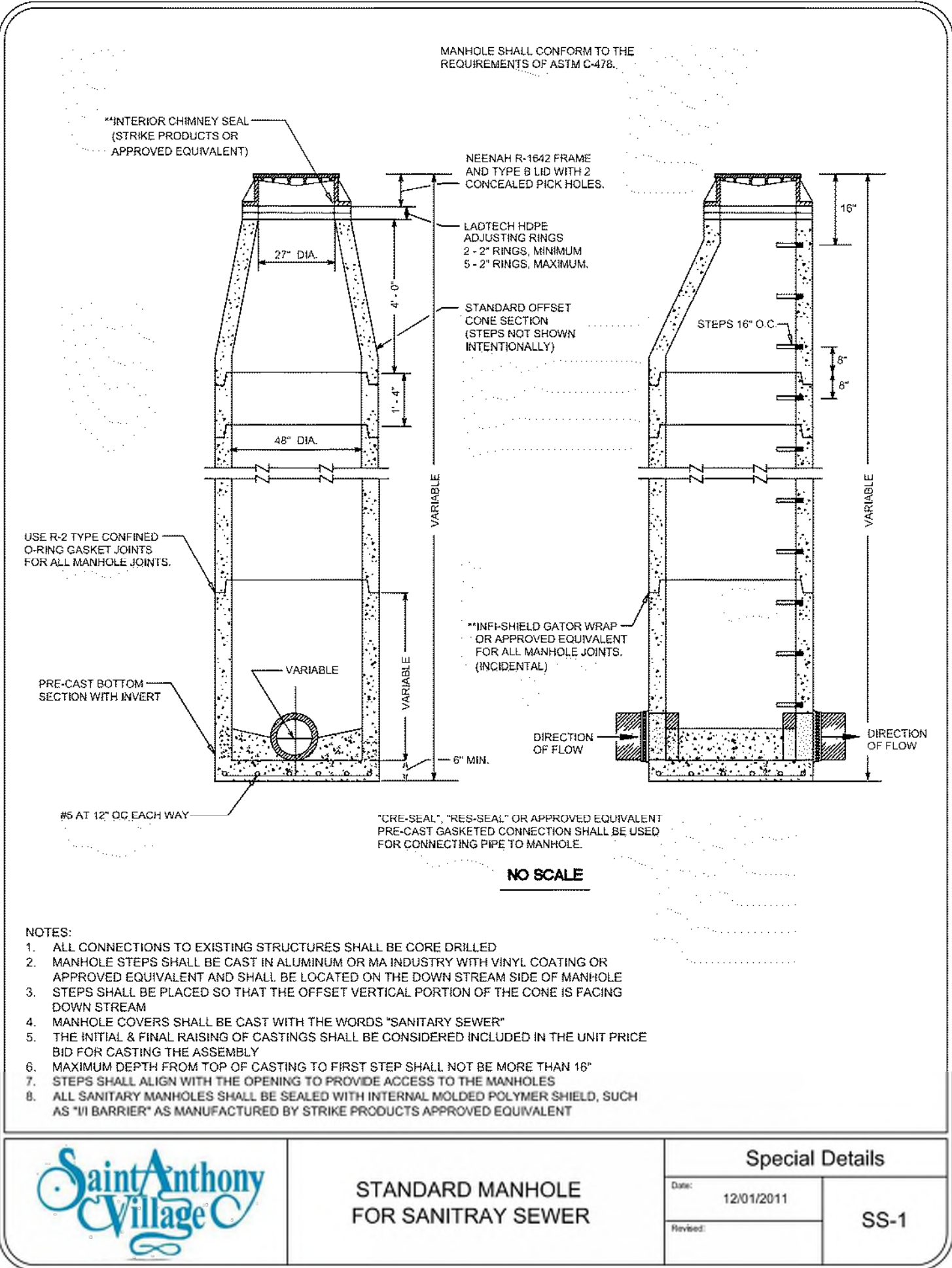
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REGISTRATION

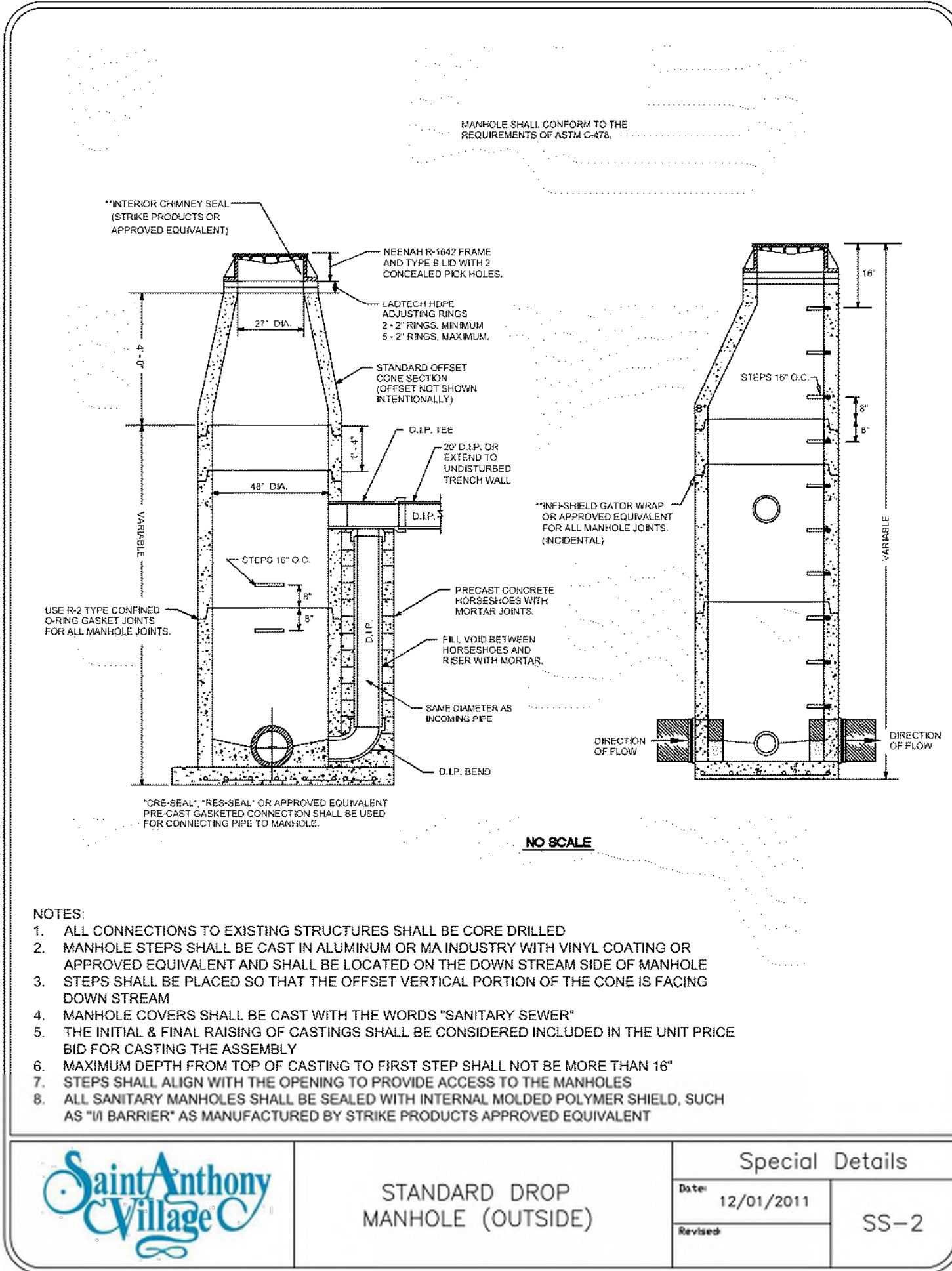
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDEMAN
MN
DATE: 11/5/2019 LIC. NO. 53113

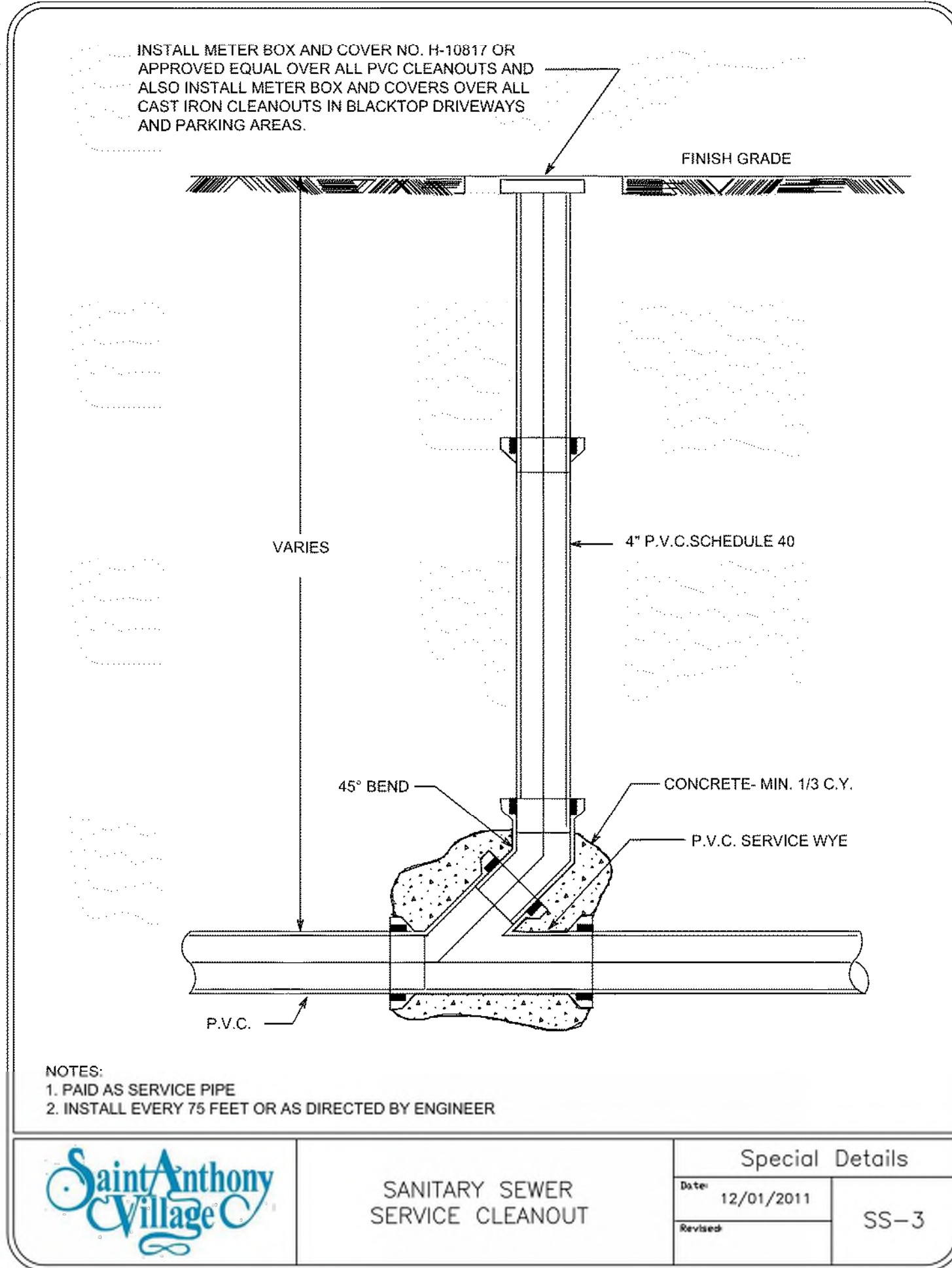
ISSUE RECORD		
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019



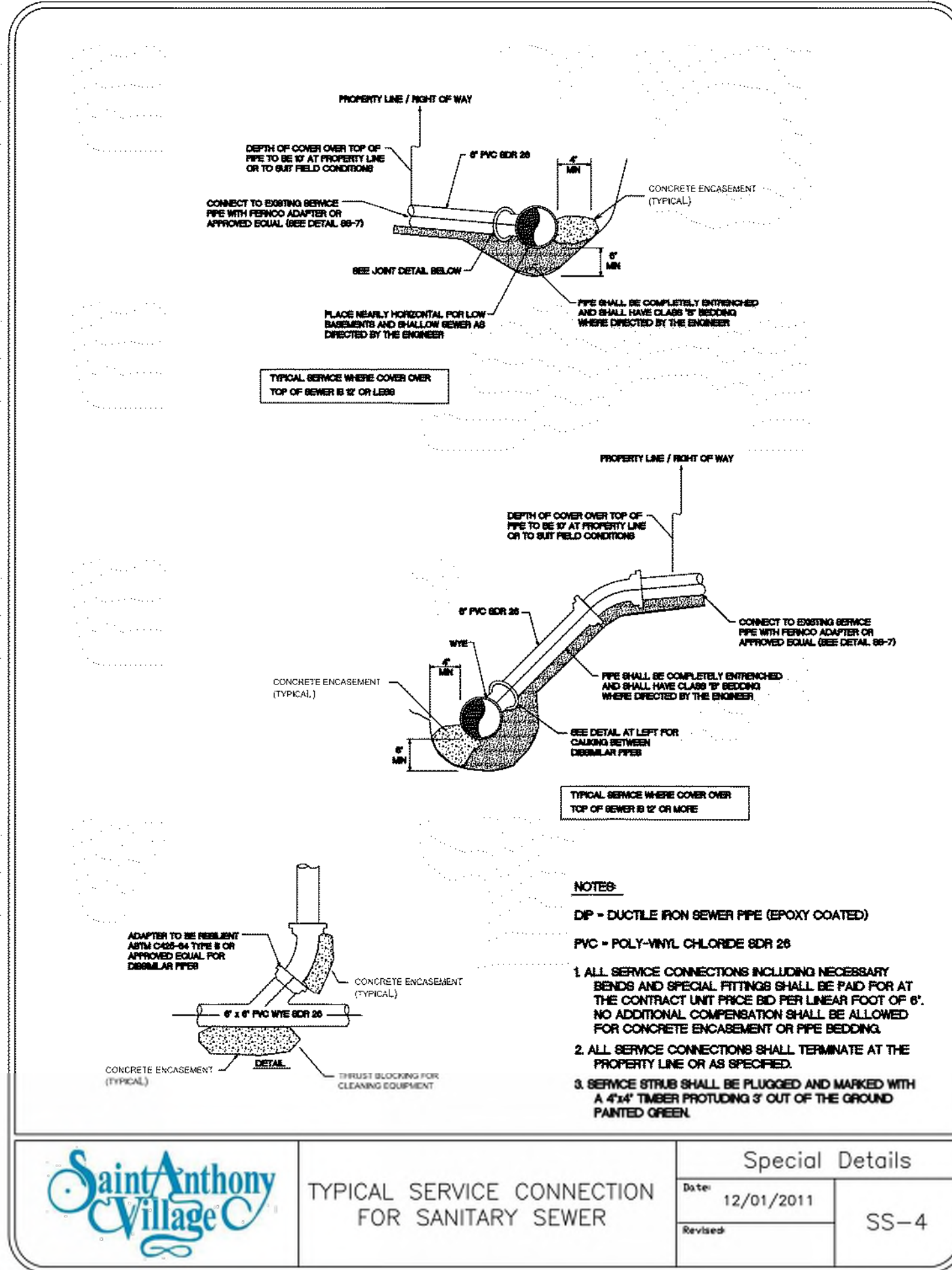
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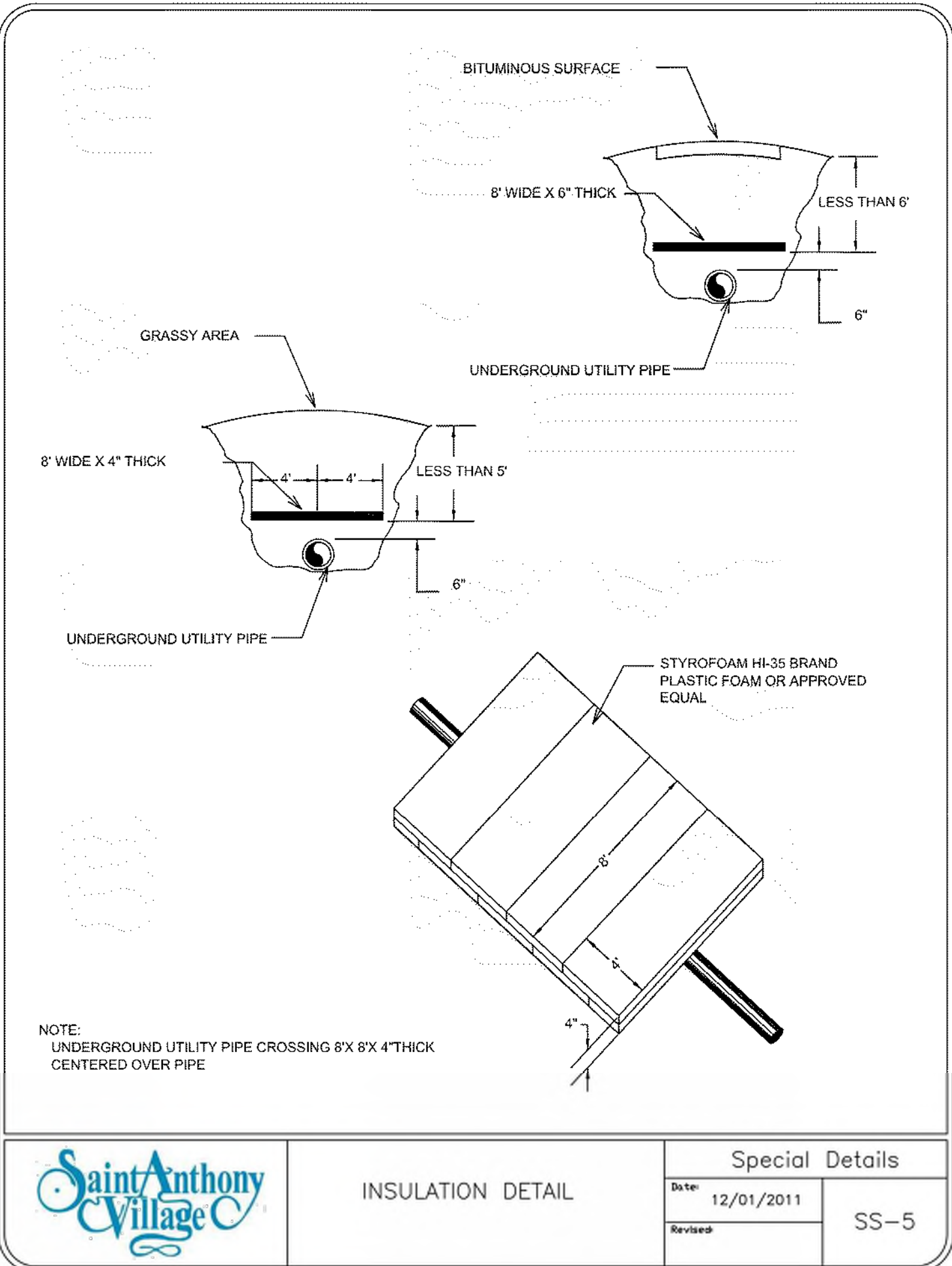


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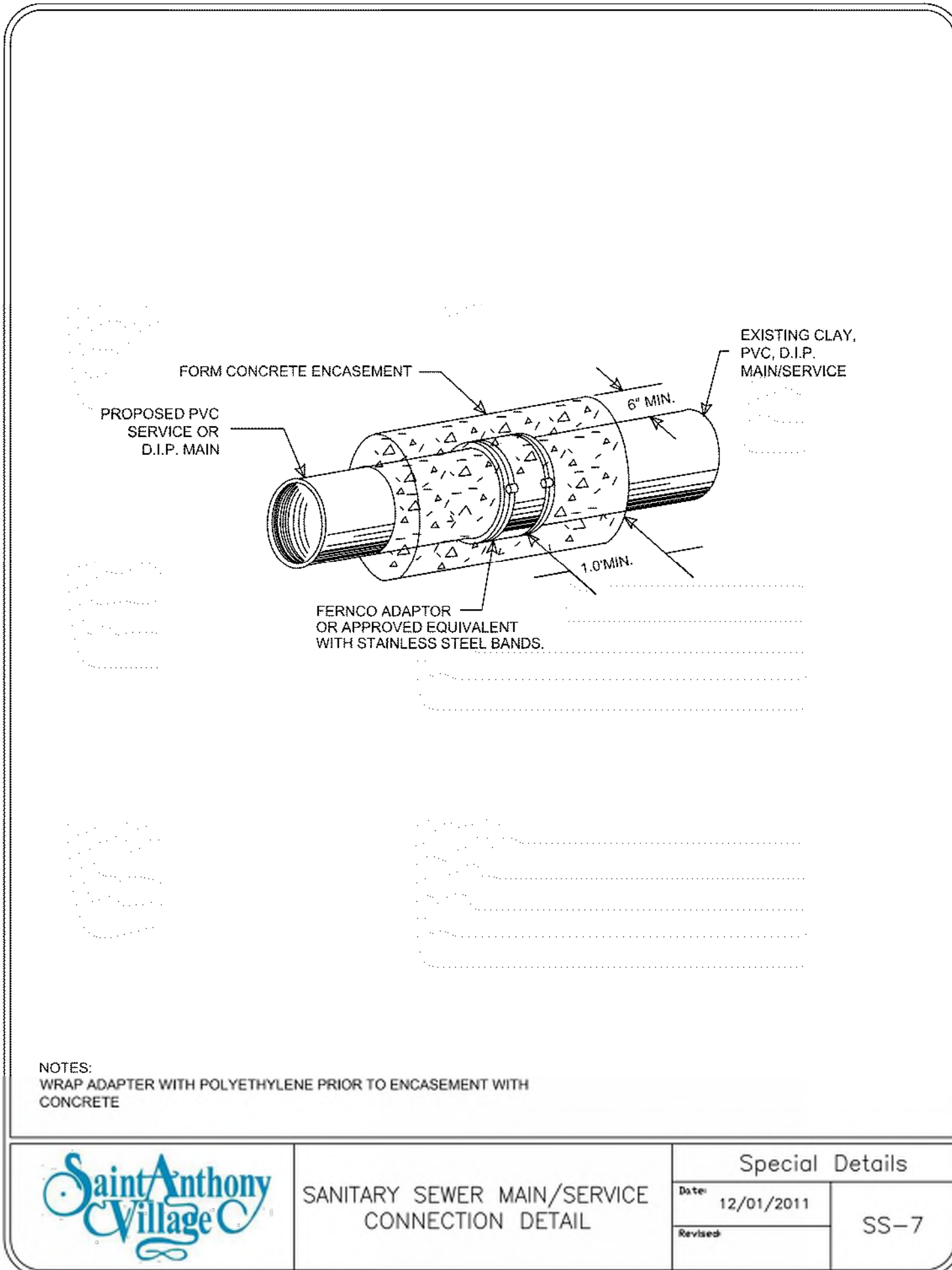


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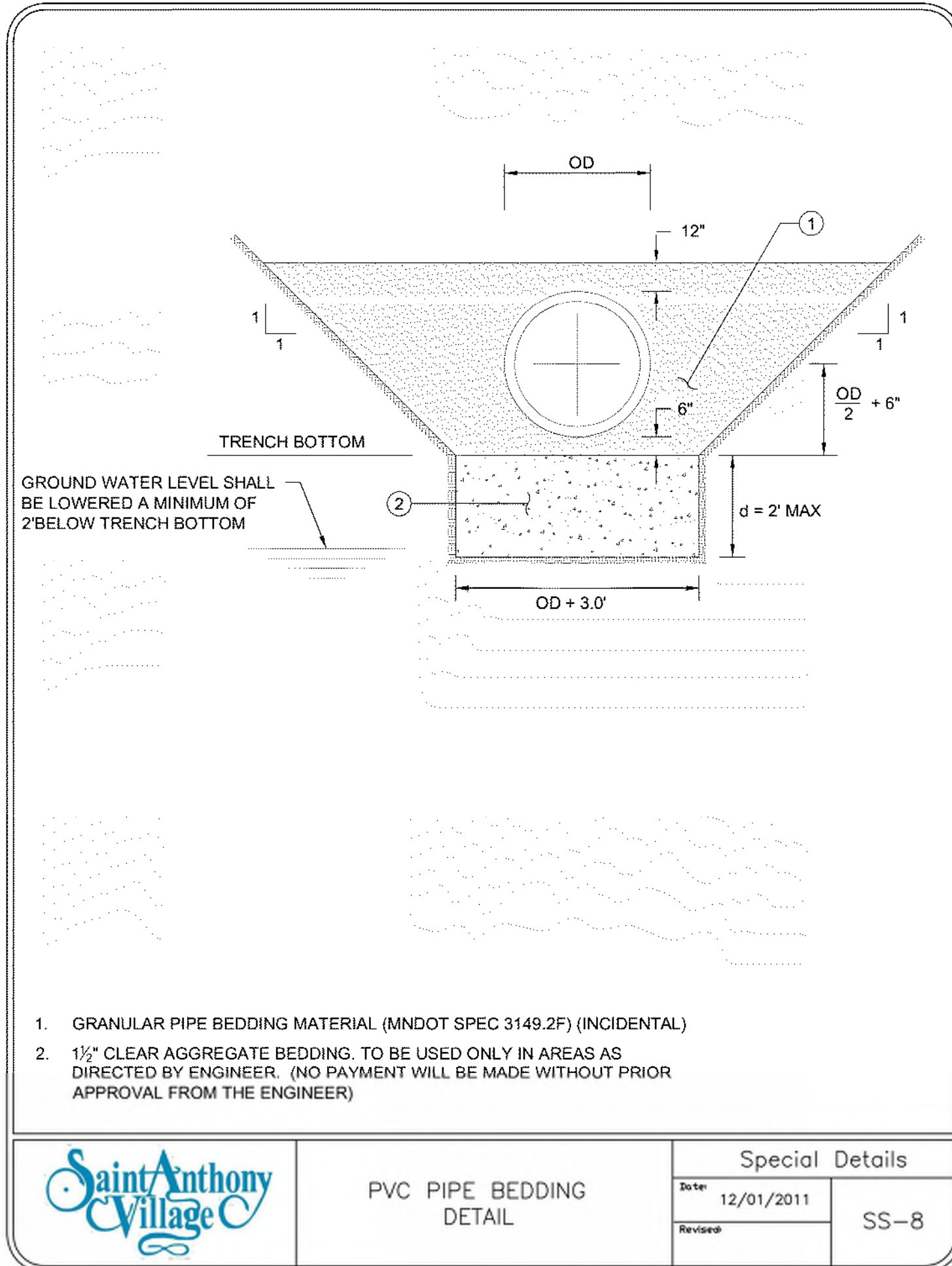
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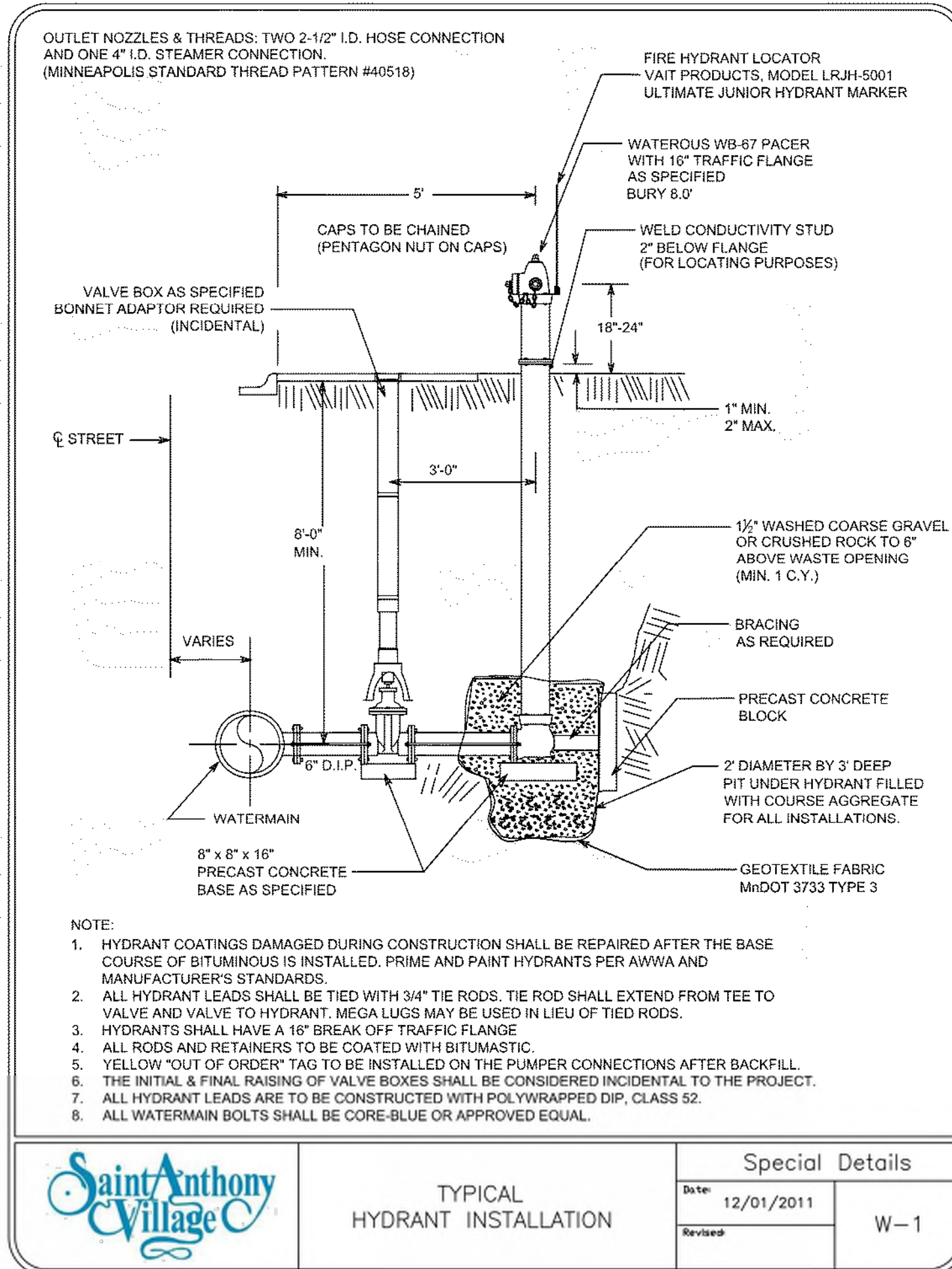
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PROJECT
SILVER LAKE VILLAGE

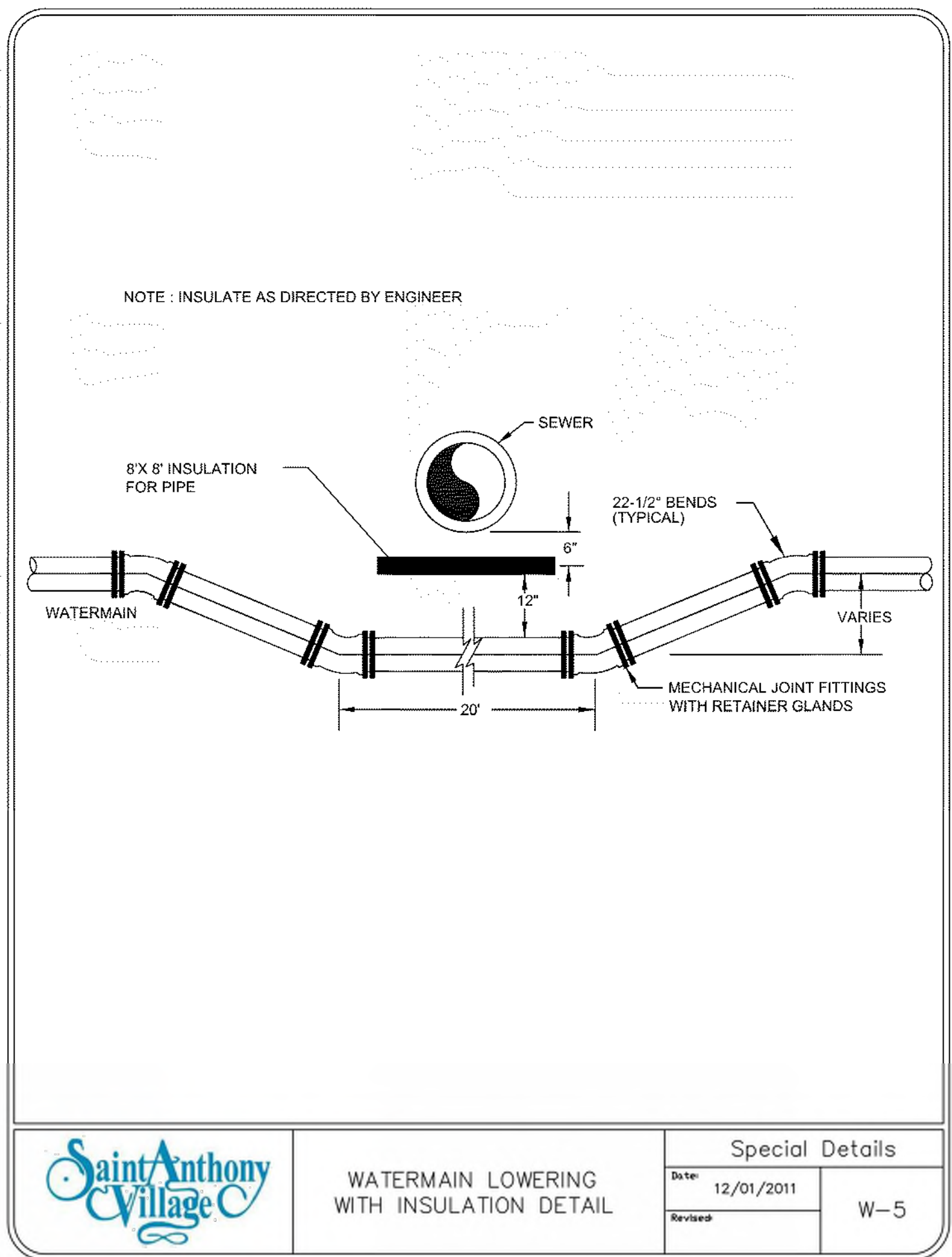
LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007
DATE
11/05/2019
PROJECT MANAGER
MGC
DRAINBY
BPG
CHECKED BY
BMW

PREPARED FOR

7803 Glenroy Road, Suite 200
Bloomington, MN 55426
952-288-2000
952-288-2031 fax

SHEET TITLE
UTILITY DETAILS



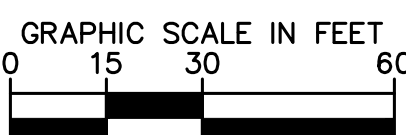
DECORATIVE PAVING
(TYPE TBD)

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 800 OR CALL 811 COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTINGS.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIAL. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S ACCEPTANCE OF THE PROJECT. IF A PLANT DIES WITHIN THE FIRST YEAR, THE PLANT SHALL HAVE A ONE YEAR GUARANTEED COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIFIC GRADE: MINNESOTA-GROWN AND/OR HARDY. SPECIMEN BARK SHOULD BE FREE FROM CRACKS, SPLITTING, DISCOLORATION, AND FOLDING. ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL HAVE HEALTHY, HEAVY BRANCHING AND LEAFING.
- PLANTED TREES SHALL HAVE WELL ESTABLISHED MAIN LEADER AND A SLIGHTLY TO WIDETH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER M.N.A. & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY TIE-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/LUMP FLAIR IS LOCATED AT EXISTING GRADE. IF NOT, REMOVE EXISTING SOIL. SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/LUMP FLAIR. WHEN THE BALLED & BURLAP TREE IS PLACED, THE ROOT COLLAR/LUMP FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP OR NB MATERIALS; REMOVE POT ON POTTED PLANTS. SPILT AND BREAKAWAY PEAT ROOT.
- PRUNE PLANTS ON NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT BEFORE ANY SOIL AMENDMENT IS APPLIED.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MINDOT STANDARD SPECIFICATION 387T (SELECT TOPSOIL BORDOW AND TO BE EXISTING TOP SOIL FROM SITE OR IMPORTED TOPSOIL FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSIL, DEBRIS, AND LARGE LIMBS). TOPSOIL SHALL BE MINIMUM 4" DEPTH TOPSOIL. TOPSOIL FOR LAWN, GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE A DEPTH OF DOUBLE SHREDED HARDWOOD MULCH. MULCH SHALL BE DOUBLE SHREDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS MATERIAL.
- EDGING TO BE COMMERCIAL GRADE STEEL EDGING. EDGING SHALL BE PLACED WITH PROTECTIVE RUBBER FOOTING. EDGING SHALL BE PLACED TO FOLLOW CURVE OF LOT CENTER WITH WIDTH OF TOP BEAD AT GRADE, FOR MOVERS TO CUT ABOVE WITHOUT DAMAGE. UTILITY CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. INDIVIDUAL TREE, SHRUB, OR RAIN GARDENS TO BE SPACED EDGE. (UNLESS NOTED OTHERWISE EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SOODED, UNLESS OTHERWISE NOTED. STAND STANDARD MINNESOTA GROWN AND HARDY BLUEGRASSES. SUEP OF LAWN WEEDS SHALL BE PREVENTED BY APPLICATION OF PREEMERGENT HERBICIDE. SUEP OF 3:1 OR GREATER SHALL BE STAKED. IF NOT INDICATED ON LANDSCAPE PLAN, SUEP OF 3:1 OR GREATER SHALL BE STAKED. IF NOT INDICATED ON LANDSCAPE PLAN, SUEP OF 3:1 OR GREATER SHALL BE STAKED.
- PROVIDE IRRIGATION TO ALL PLANTED AND SOO AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGNED/BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE IRIGATION PLAN AND SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION OF IRRIGATION SYSTEM, CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE BACKFLOW PREVENTER EQUIPPED WITH ANTI-SIPHONAGE VALVE. IRRIGATION SYSTEM SHALL HAVE TWO-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT MATERIALS ARE FULLY ESTABLISHED.
- REPAIR, REPLACE, OR PROVIDE SOO AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- APPLY PRE-EMERGENT HERBICIDE GREEN (OR APPROVED ALIAS) IN ANNUAL, PERENNIAL AND SHRUB BEDS FOLLOWED BY SHREDED HARDWOOD MULCH.
- CONTRACTOR TO CONFIRM WATER AND POWER SUPPLY LOCATIONS AND DETAILS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL MAINTAIN ALL PLANTS AND TURF PER THE MANUFACTURERS' INSTRUCTIONS THROUGHOUT THE GUARANTEE PERIOD.
- OWNER OR CONTRACTOR TO BROADCAST PRE-EMERGENT HERBICIDE (PREEN OR APPROVED ALIAS) TWO TIMES PER YEAR ACROSS ALL PLANTING BEDS AND TURF.

SEE SHEET L103 FOR LANDSCAPE DETAILS.

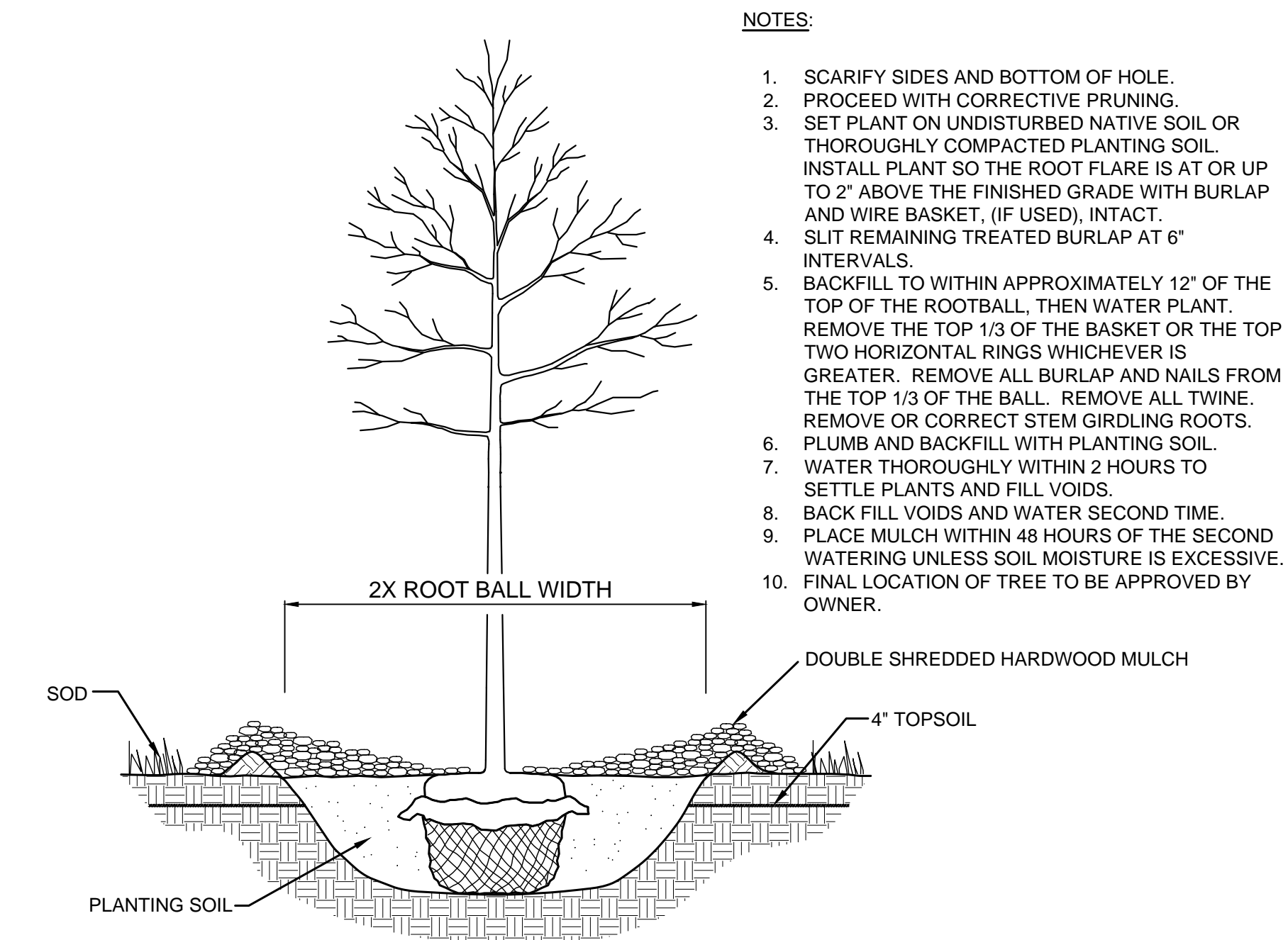
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GRASSES	QTY	BOTANICAL NAME	COMMON NAME	COUNT	SPACING	SIZE
BHL	114	SCHIZACHYRIUM SCOPARIUM BLUE HEAVEN	BLUE HEAVEN LITTLE BLUESTEM	#1 COUNT		
POG	867	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	KARL FOERSTER FEATHER REED GRASS	#1 COUNT		
KFS	509	SPOROBOLUS HETEROLEPS	PRANKE DRIPSSEED	#1 COUNT		
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	COUNT	SPACING	SIZE
AFS	50	SEDUM X AUTUMN FIRE	AUTUMN FIRE SEDUM	#1 COUNT		
AFS	85	ARUNCUS DIODIUS	GOAT'S BEARD	#1 COUNT		
BAH	49	HOSTA X BLUE ANGEL	BLUE ANGEL HOSTA	#1 COUNT		
DMH	38	HOSTA X GUACAMOLE	GUACAMOLE HOSTA	#1 COUNT		
YLM	219	RUDECKERA X LITTLE GOLD STAR	LITTLE GOLD STAR BLACK-EYED SUSAN	#1 COUNT		
PCD	128	ECHINACEA X PURPLE EMPEROR	PURPLE EMPEROR CONFLOWER	#1 COUNT		
REC	200	HUBERODIUM X ROPPY RETURNS	ROPPY RETURNS DAILY	#1 COUNT		
TLC	42	ALCHEMILLA MOLLIIS THRILLER	THRILLER LADY'S MANTLE	#1 COUNT		
WLM	80	ASTILBE CHINENSIS YOSUN IN WHITE	YOSUN IN WHITE ASTILBE	#1 COUNT		
WLM	100	NEPETA X FASSENIS WALKER LOVER	WALKER LOVER CATMINT	#1 COUNT		
QTY	BOTANICAL NAME	COMMON NAME	COUNT	SPACING	SIZE	
VTC	25	CAMPISSE GRANDIFLORA	CHINESE TRUMPET CREEPER	#2 COUNT		



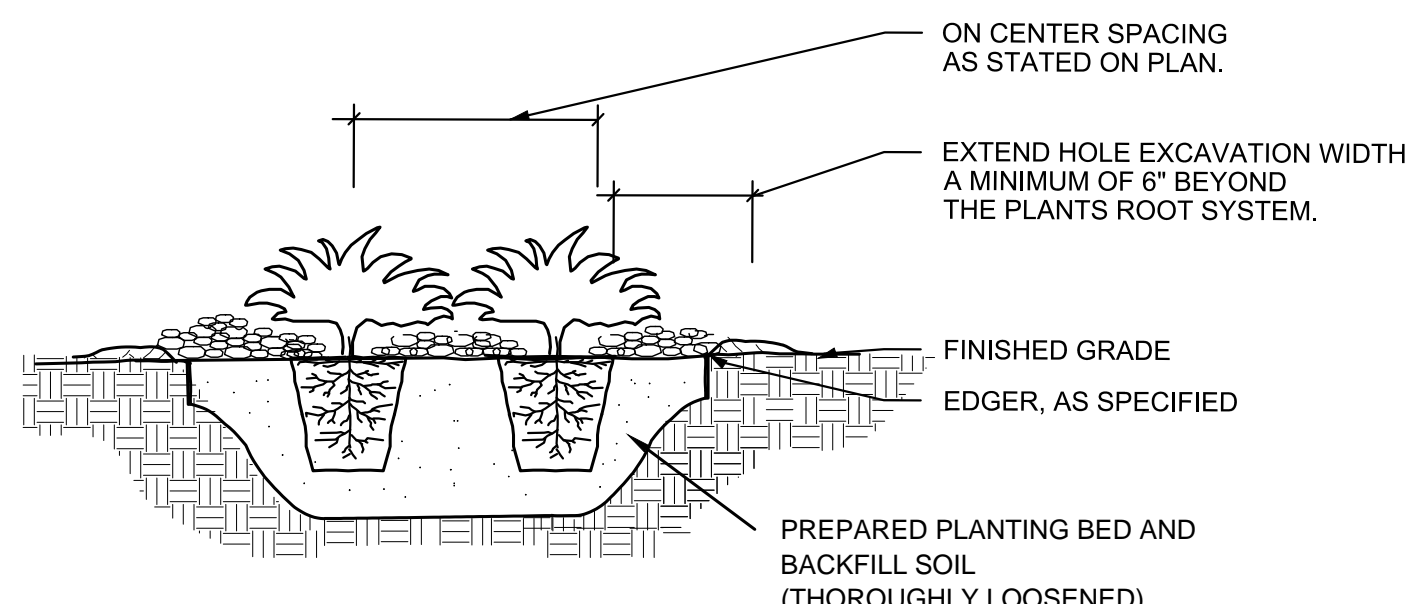
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K:\TWC_LDEV\dORAN COMPANIES\Silver Lake Wal-mart - St. Anthony Apartments\3 Design\CAD\Plan\Streets\L1-LANDSCAPE DETAILS.dwg November 04, 2019 - 6:17pm
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



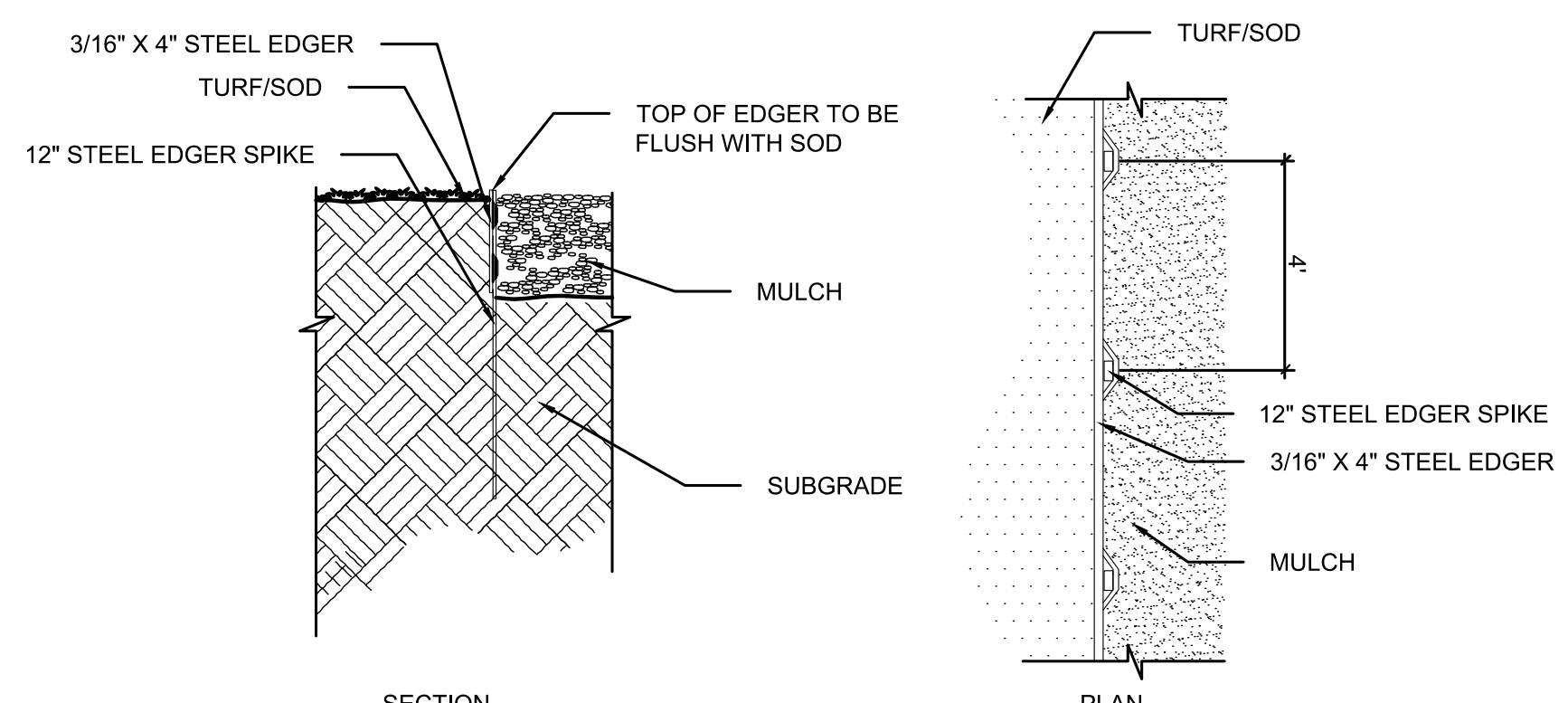
1 TREE PLANTING DETAIL
SCALE: N.T.S. L101

- NOTES:**
1. SCARIFY SIDES AND BOTTOM OF HOLE.
 2. PROCEED WITH CORRECTIVE PRUNING.
 3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
 4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
 5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
 6. PLUMB AND BACKFILL WITH PLANTING SOIL.
 7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 8. BACK FILL VOIDS AND WATER SECOND TIME.
 9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
 10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

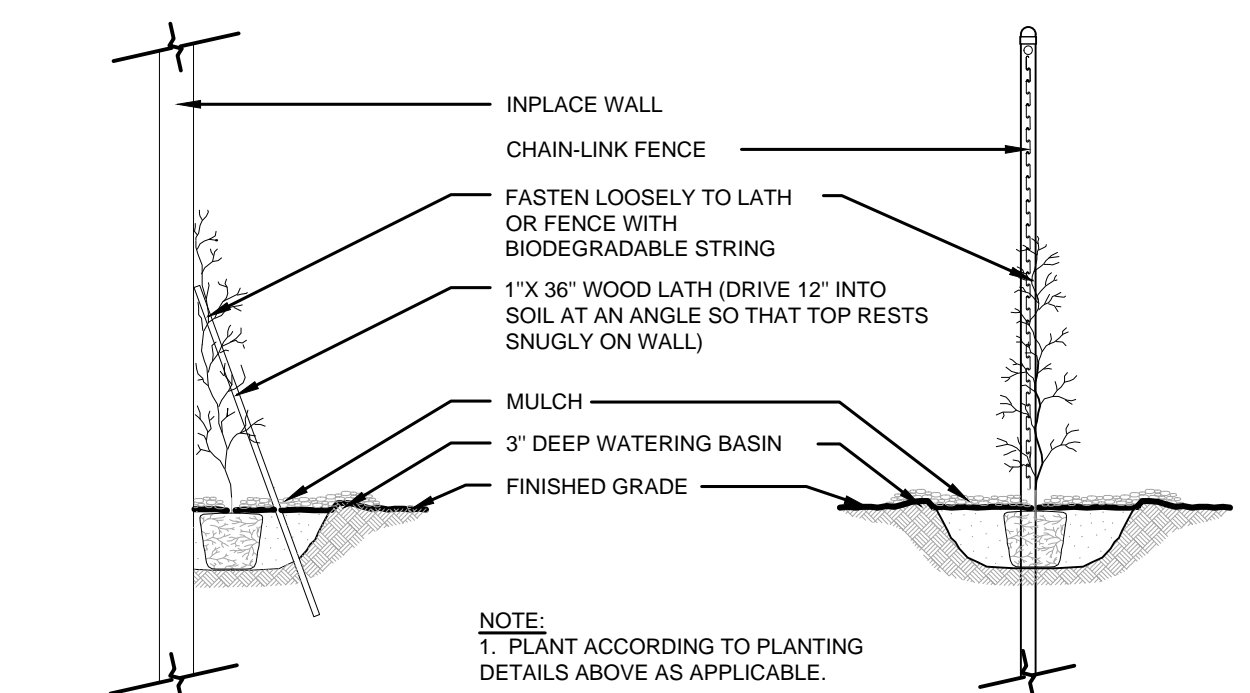


- NOTES:**
1. SCARIFY SIDES AND BOTTOM OF HOLE.
 2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
 3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
 4. PLUMB AND BACKFILL WITH PLANTING SOIL.
 5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 6. BACK FILL VOIDS AND WATER SECOND TIME.
 7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
 8. MIX IN 3-4" OF ORGANIC COMPOST.

2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S. L101

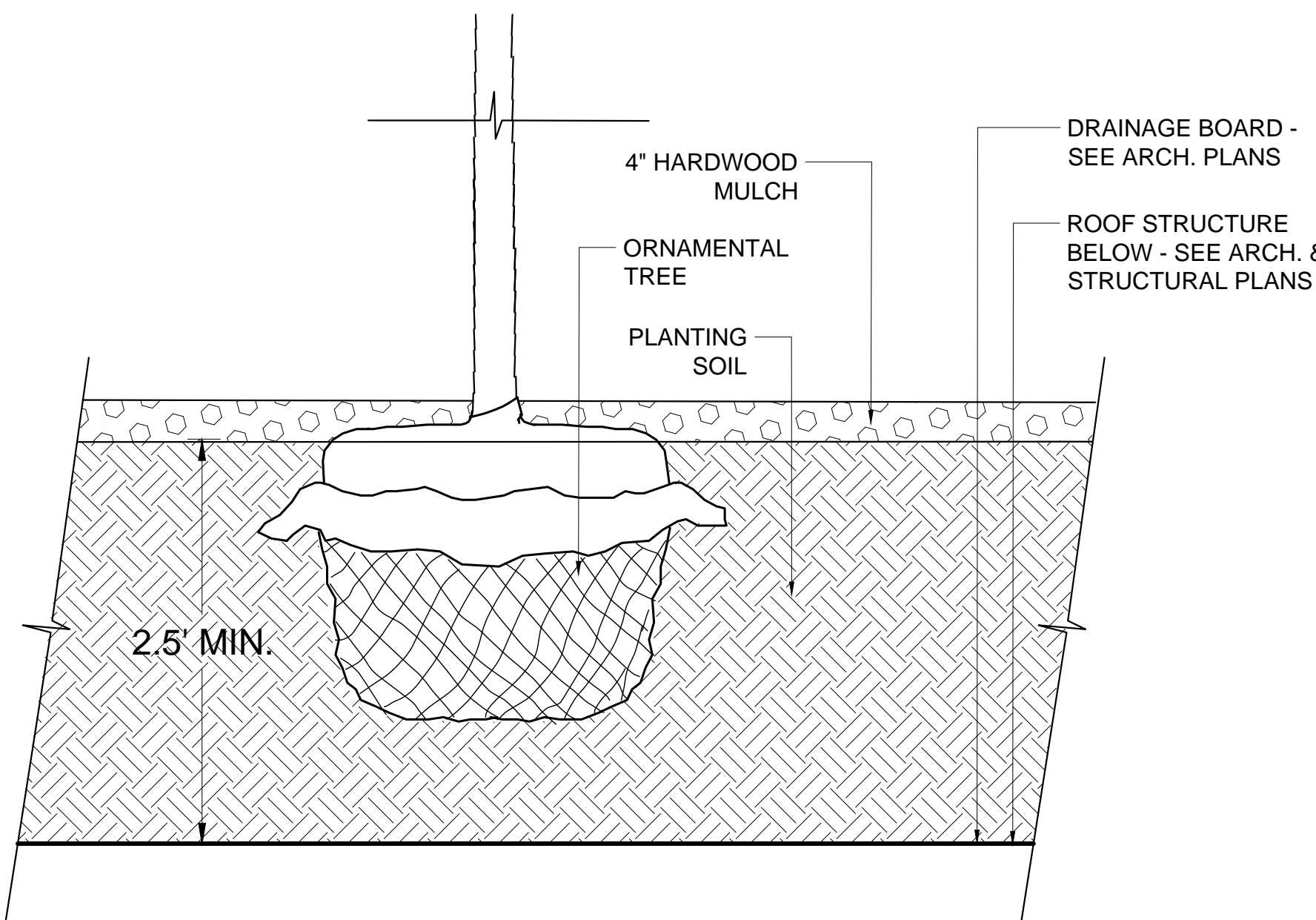


3 STEEL EDGER DETAIL
SCALE: N.T.S. L101



4 VINE PLANTING
SCALE: N.T.S. L101

NOTE:
1. PLANT ACCORDING TO PLANTING DETAILS ABOVE AS APPLICABLE.



5 TREE PLANTING ON STRUCTURE
SCALE: N.T.S. L101

ENGINEER

Kimley»Horn

2019 KIMLEY-HORN AND ASSOCIATES, INC.
787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-945-4187
WWW.KIMLEY-HORN.COM

REGISTRATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

MITCHELL G. COOKAS
MN LIC. NO. 56522
DATE: 11/05/2019

ISSUE RECORD		
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
GMC

CHECKED BY
MGC

PREPARED FOR
DORAN COMPANIES
7803 Glenney Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

SHEET TITLE
LANDSCAPE DETAILS

SHEET NUMBER

L101

PLOT DATE: 8/29/2019 8:01:32 AM