

3800 SILVER LAKE RD. SAINT ANTHONY, MN

PUD AMENDMENT PLAN: NOVEMBER 5th, 2019

Unit Count

RESIDENCE 1	RESIDENCE 2 (PROJECTED)	RESIDENCE AND AMENITY AREA
LEVEL 1 STUDIO 6 ALCOVE 2 1 BED 40 2 BED 11 3 BED 4 63	LEVEL 1 STUDIO 4 ALCOVE 0 1 BED 40 2 BED 10 3 BED 4 58	RESIDENCE 1 LEVEL P1: 2,600 GSF LEVEL 1: 66,300 GSF LEVEL 2: 65,600 GSF LEVEL 3: 65,600 GSF LEVEL 4: 65,600 GSF 265,700 GSF
LEVEL 2 STUDIO 6 ALCOVE 2 1 BED 41 2 BED 12 3 BED 4 65	LEVEL 2 STUDIO 5 ALCOVE 0 1 BED 40 2 BED 11 3 BED 4 60	RESIDENCE 2 LEVEL P1: 2,600 GSF LEVEL 1: 62,300 GSF LEVEL 2: 61,600 GSF LEVEL 3: 61,600 GSF LEVEL 4: 61,600 GSF 249,700 GSF
LEVEL 3 STUDIO 6 ALCOVE 2 1 BED 41 2 BED 12 3 BED 4 65	LEVEL 3 STUDIO 5 ALCOVE 0 1 BED 40 2 BED 11 3 BED 4 60	CLUBHOUSE LEVEL P1: 6,300 GSF LEVEL 1: 8,600 GSF 14,900 GSF
LEVEL 4 STUDIO 6 ALCOVE 2 1 BED 41 2 BED 12 3 BED 4 65	LEVEL 4 STUDIO 5 ALCOVE 0 1 BED 40 2 BED 11 3 BED 4 60	AREA (NON-PARKING) TOTAL 530,300 GSF
PHASE 1 TOTAL 258 UNITS	PHASE 1 TOTAL 238 UNITS	PARKING PARKING GARAGE AREA GARAGE 1: 102,900 GSF GARAGE 2: 94,900 GSF 197,800 GSF
	GRAND TOTAL 496 UNITS	PARKING SPACES GARAGE 1: 260 SPACES GARAGE 2: 247 SPACES SURFACE 1: 127 SPACES SURFACE 2: 128 SPACES TOTAL 762 SPACES
		PARKING SP TO UNIT RATIOS PHASE 1: 387 / 258 = 1.50 PHASE 2: 375 / 238 = 1.58 COMBINED: 762 / 496 = 1.53

Unit Size Range

STUDIO:	578 SF
ALCOVE:	673 SF
1 BED:	697 TO 926 SF
2 BED:	1,106 TO 1335 SF
3 BED:	1,650 SF

AREA (NON-PARKING) TOTAL 530,300 GSF / TOTAL PROPERTY AREA 566,647 SF = **0.94 F.A.R.**

Project Team

Owner:
Doran SLV, LLC
7803 Glenroy Road
Bloomington, MN 55349
PH: 952-288-2000

Developer:
Doran Family Development, LLC
7803 Glenroy Road
Bloomington, MN 55349
PH: 952-288-2000

Architect:
Doran Architects, LLC
7803 Glenroy Road
Bloomington, MN 55349
PH: 952-288-2000

Contractor:
Doran Construction, LLC
7803 Glenroy Road
Bloomington, MN 55349
PH: 952-288-2000

Structural:
BKBM Engineers
6120 Earle Brown Drive
Suite 700
Minneapolis, MN 55430
PH: 763-843-0420

Surveyor / Landscape / Civil:
Kimley Horn
767 Eustis Street
Suite 100
St. Paul, MN 55114
PH: 651-645-4197

Attorney:
Doran Companies
7803 Glenroy Road
Bloomington, MN 55349
PH: 952-288-2000

Site Map



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REGISTRATION

DESIGN ARCHITECT:

ISSUE RECORD

No.	Description	Date

NOT FOR CONSTRUCTION

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MICHAEL DUNN

DRAWN BY
BEN LINDAU

CHECKED BY
EVAN DORAN

PREPARED FOR
DORAN COMPANIES
7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

SHEET TITLE
COVER SHEET

SHEET NUMBER
T.0



① SITE LOOKING NORTH WEST

ARCHITECT:

DORAN
ARCHITECTURE
7803 Glenway Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

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SHEET TITLE

SITE PHOTOS

SHEET NUMBER

A1.1



② SITE LOOKING SOUTH WEST



① SITE LOOKING EAST

ARCHITECT:

DORAN
ARCHITECTURE
7803 Glenway Road, Suite 200
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SITE PHOTOS

SHEET NUMBER

A 1.2



② SITE LOOKING NORTH EAST

COLOR KEY

- AMENITY
- STUDIO
- ALCOVE
- 1 BED
- 2 BED
- 3 BED
- STAIR / ELEV.
- STORAGE



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SHEET TITLE
LEVEL P1 OVERALL FLOOR PLAN

SHEET NUMBER

SCALE: 1" = 25'-0"

A 2.0

COLOR KEY	
	AMENITY
	STUDIO
	ALCOVE
	1 BED
	2 BED
	3 BED
	STAIR / ELEV.
	STORAGE



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LEVEL 1 OVERALL FLOOR PLAN

SHEET NUMBER



SCALE: 1" = 25'-0"

A 2.1

COLOR KEY

AMENITY
STUDIO
ALCOVE
1 BED
2 BED
3 BED
STAIR / ELEV.
STORAGE



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SHEET TITLE
LEVELS 2 - 4 FLOOR OVERALL FLOOR PLAN

SHEET NUMBER

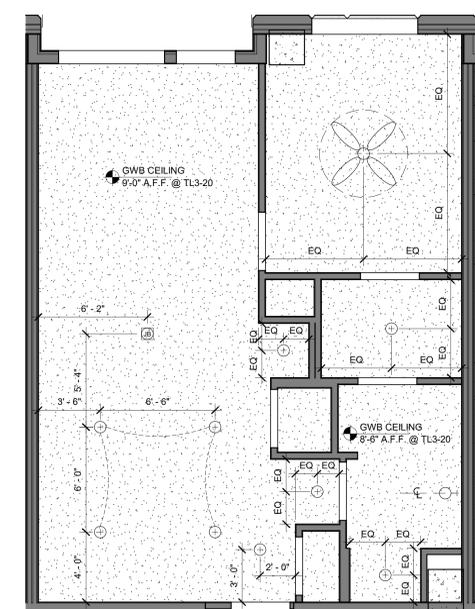


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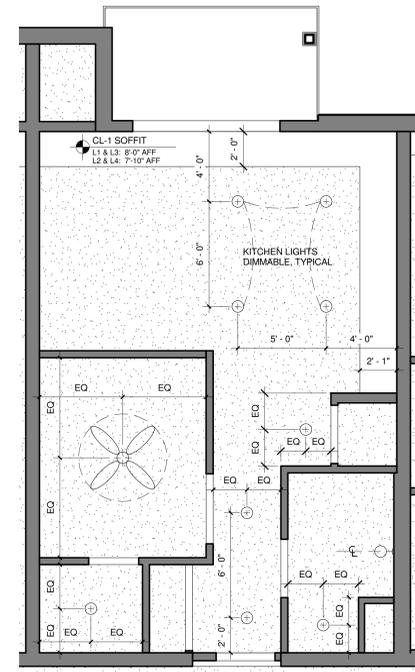
A 2.2

NOTE:
- UNIT PLANS PROVIDED FOR REFERENCE ONLY AND REFLECT CONDITIONS WHICH MAY VARY ON FINISHED PRODUCT.

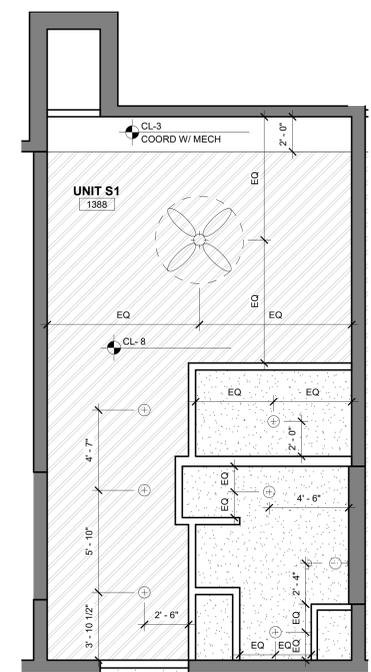
- EXTERIOR WALL CONDITIONS SHOULD BE VERIFIED AGAINST BUILDING ELEVATIONS AS UNIT PLANS MAY NOT BE INDICATIVE OF ACTUAL CONDITIONS IN MATERIALS AND ASSEMBLIES.



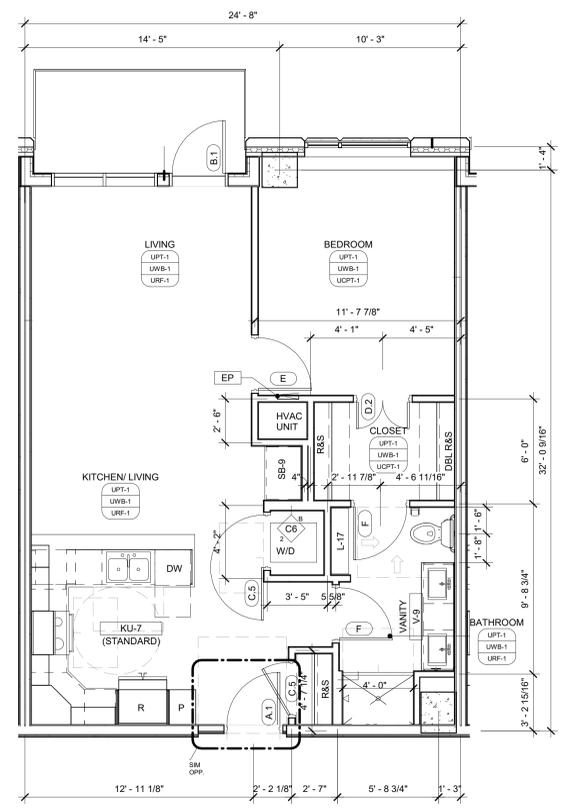
2 ONE BEDROOM *A* RCP
1/4" = 1'-0"



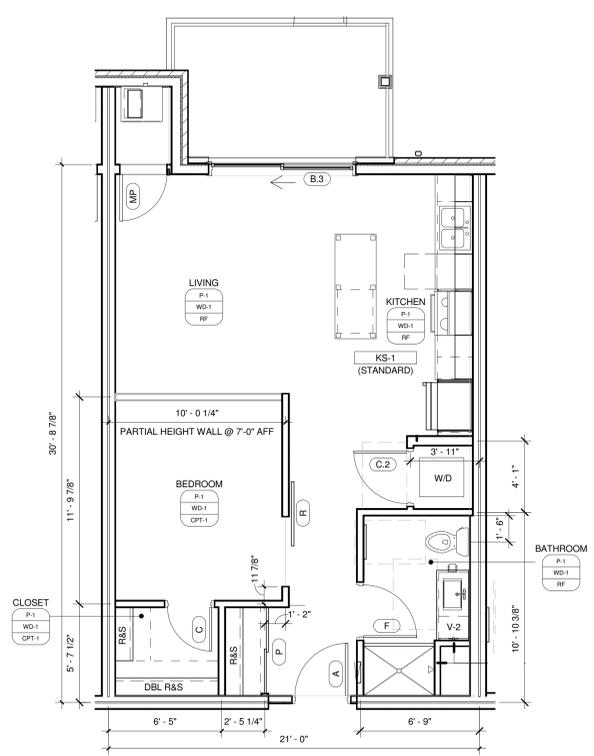
4 ALCOVE RCP
1/4" = 1'-0"



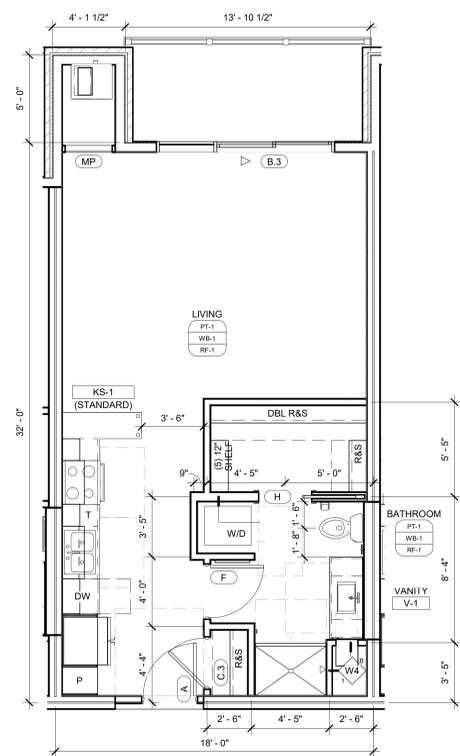
6 STUDIO RCP
1/4" = 1'-0"



1 ONE BEDROOM *A* - APPROX. 760 SF (INTERIOR)
1/4" = 1'-0"



3 ALCOVE - APPROX. 620 SF (INTERIOR)
1/4" = 1'-0"



5 STUDIO - APPROX. 560 SF (INTERIOR)
1/4" = 1'-0"

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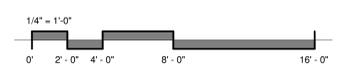
PREPARED FOR
DORAN
COMPANIES

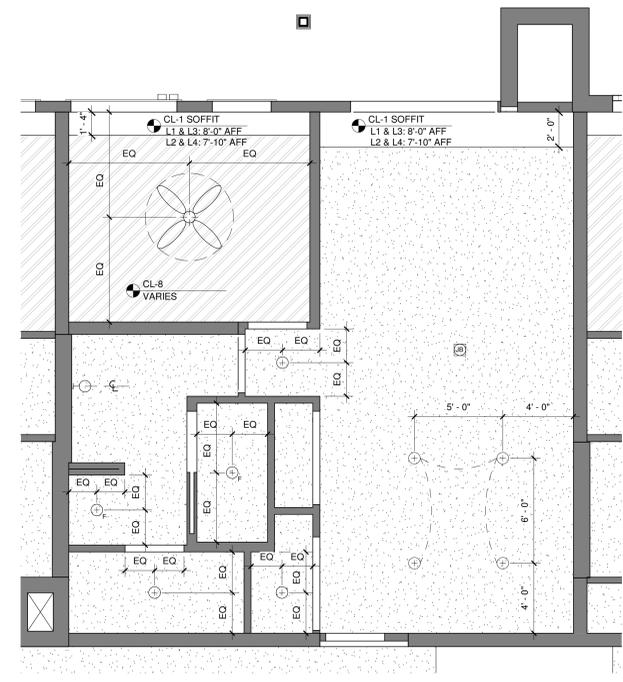
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SHEET TITLE

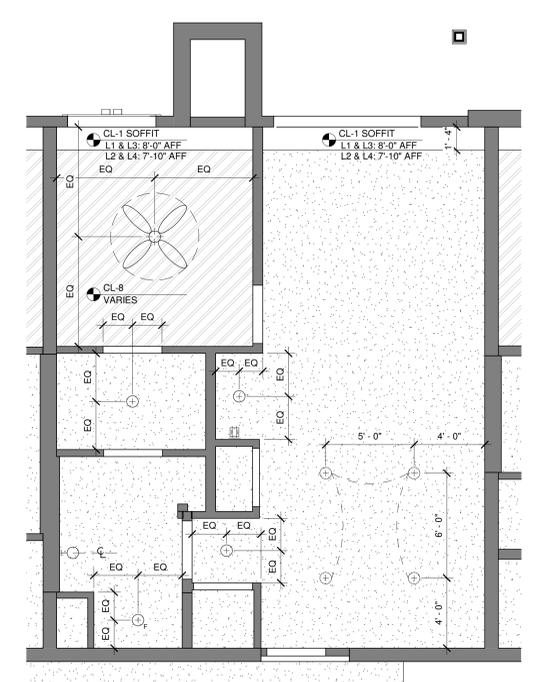
UNIT PLANS

SHEET NUMBER

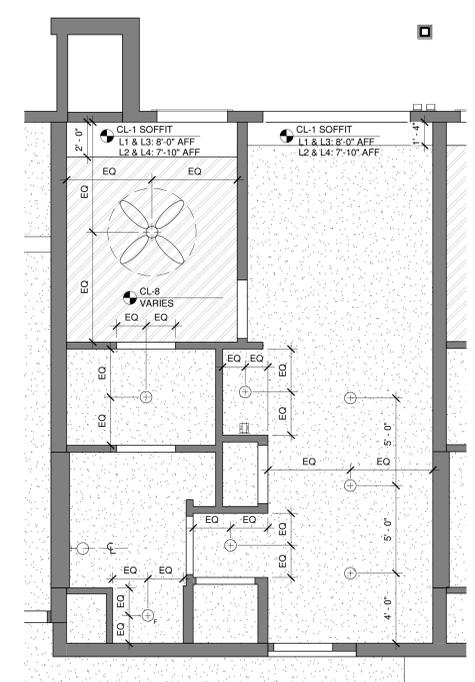




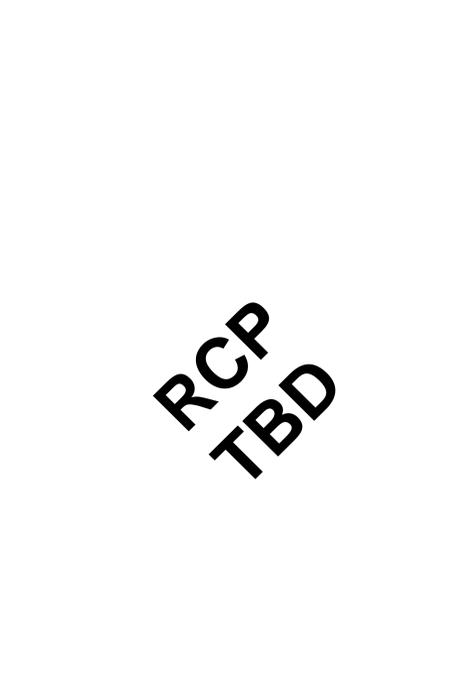
2 ONE BEDROOM "B" RCP
1/4" = 1'-0"



4 ONE BEDROOM "C" RCP
1/4" = 1'-0"



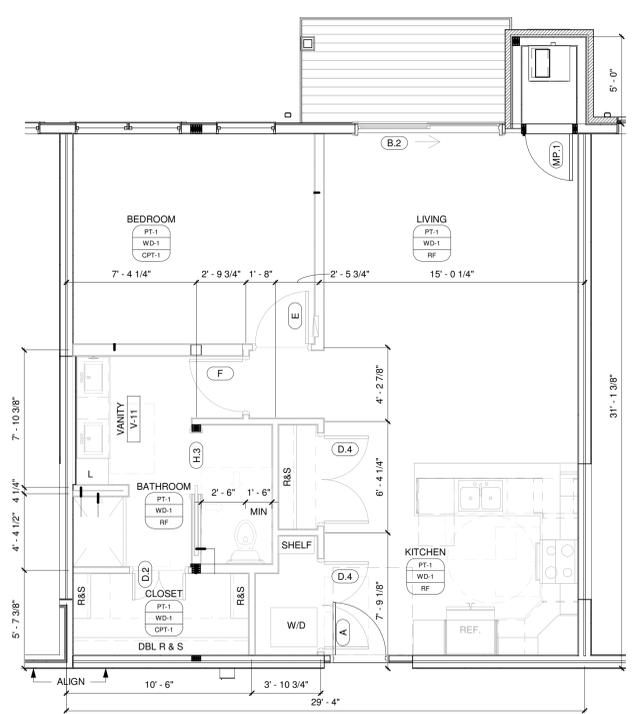
6 ONE BEDROOM "D" RCP
1/4" = 1'-0"



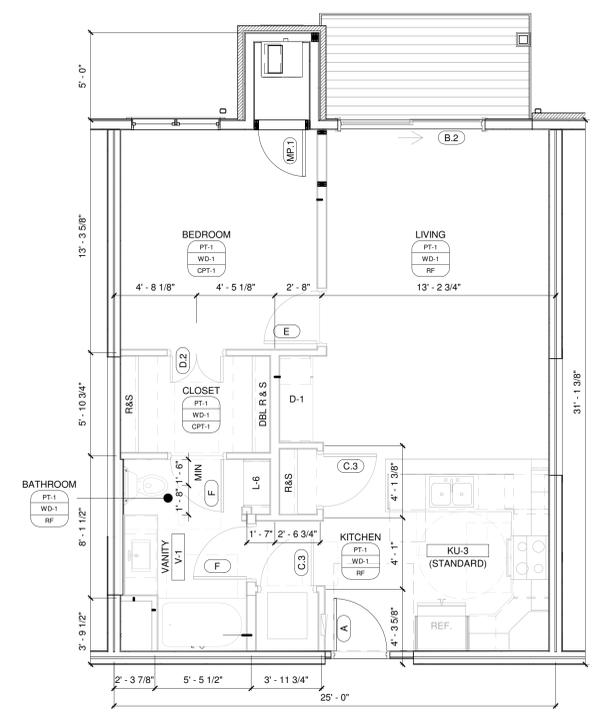
8 ONE BEDROOM "E" RCP
1/4" = 1'-0"

RCP
TBD

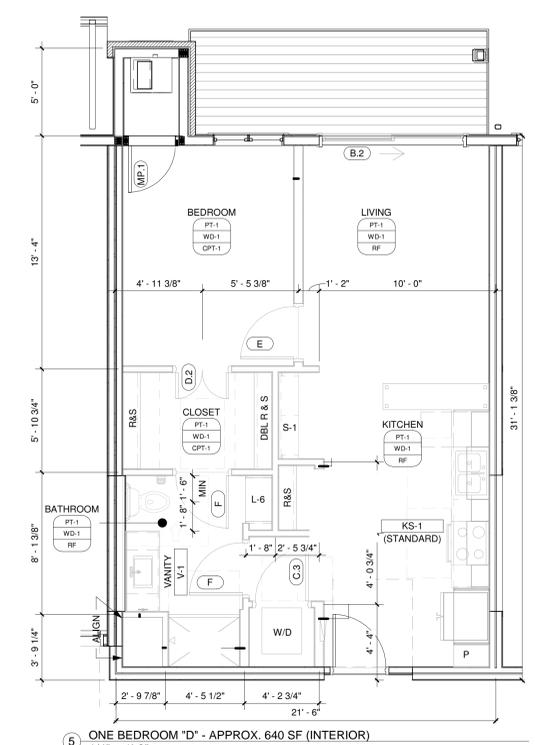
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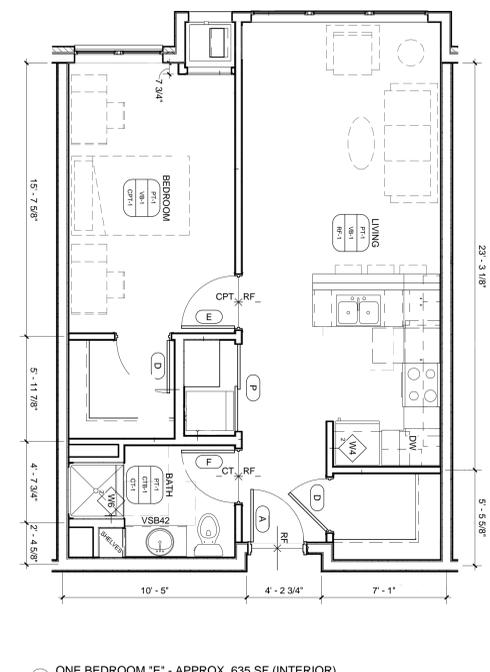
1 ONE BEDROOM "B" - APPROX. 880 SF (INTERIOR)
1/4" = 1'-0"



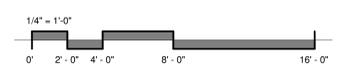
3 ONE BEDROOM "C" - APPROX. 750 SF (INTERIOR)
1/4" = 1'-0"

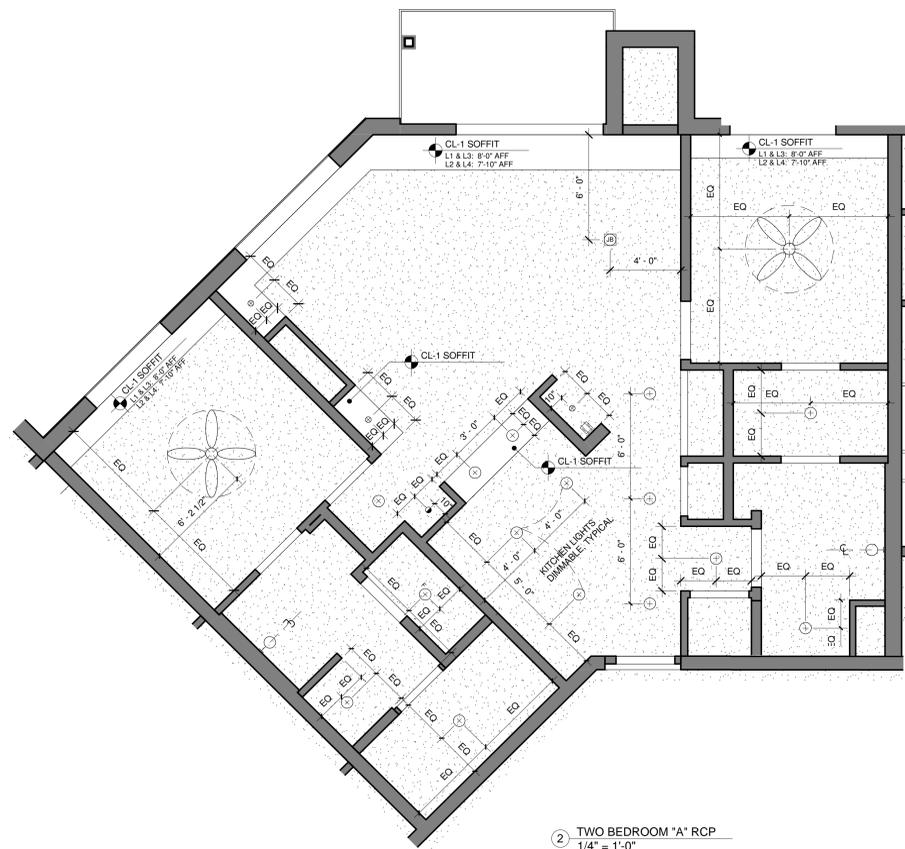


5 ONE BEDROOM "D" - APPROX. 640 SF (INTERIOR)
1/4" = 1'-0"

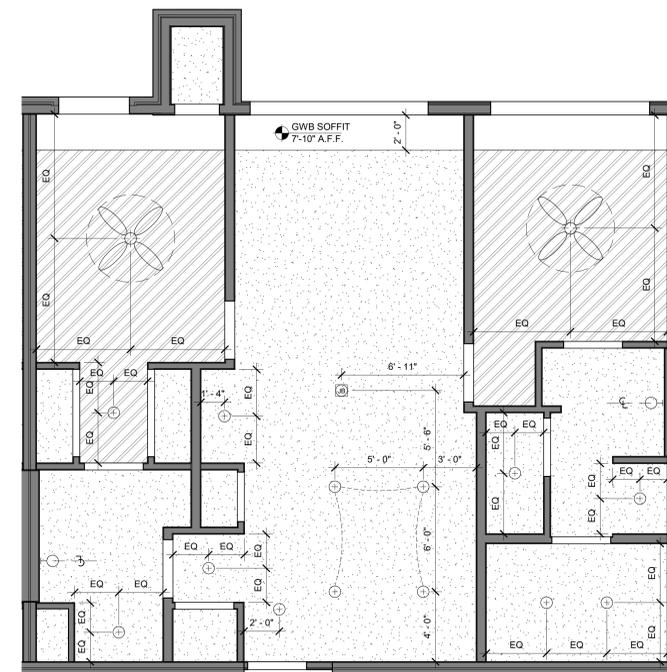


7 ONE BEDROOM "E" - APPROX. 635 SF (INTERIOR)
1/4" = 1'-0"

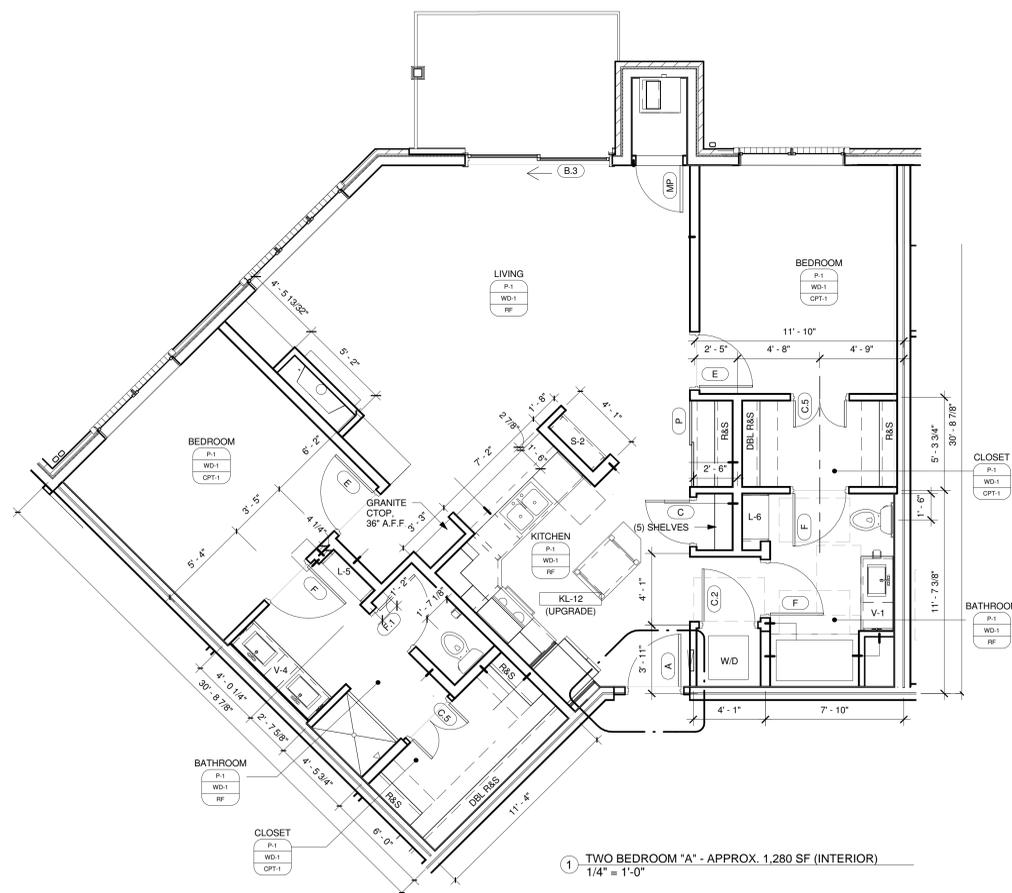




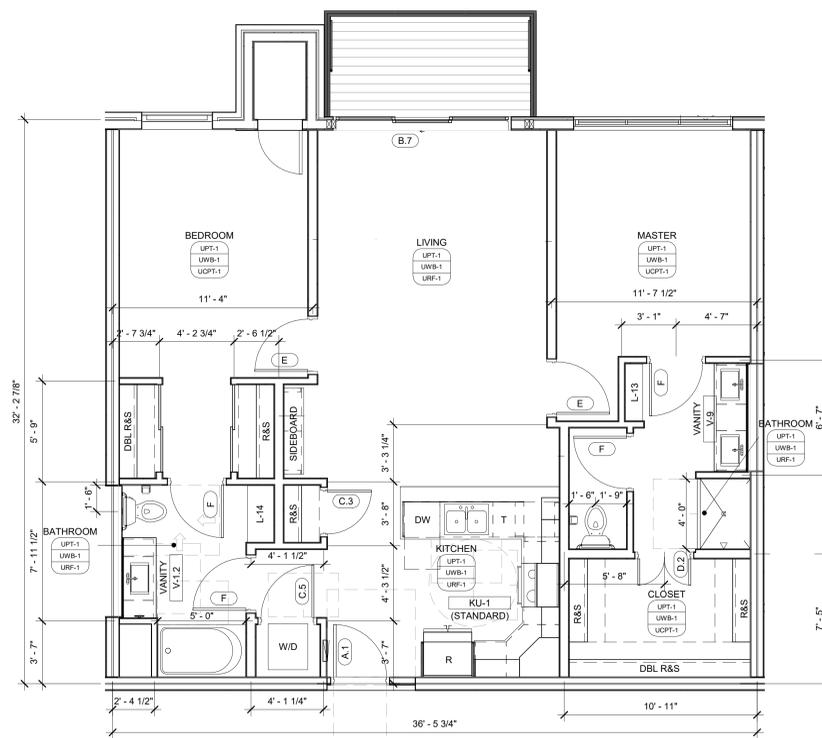
② TWO BEDROOM "A" RCP
1/4" = 1'-0"



④ TWO BEDROOM "B" RCP
1/4" = 1'-0"



① TWO BEDROOM "A" - APPROX. 1,280 SF (INTERIOR)
1/4" = 1'-0"



③ TWO BEDROOM "B" - APPROX. 1,140 SF (INTERIOR)
1/4" = 1'-0"

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PROJECT MANAGER
MICHAEL DUNN

DRAWN BY
BEN LINDAU

CHECKED BY
EVAN DORAN

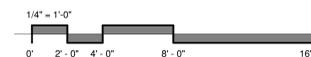
PREPARED FOR
DORAN
COMPANIES

7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

SHEET TITLE

UNIT PLANS

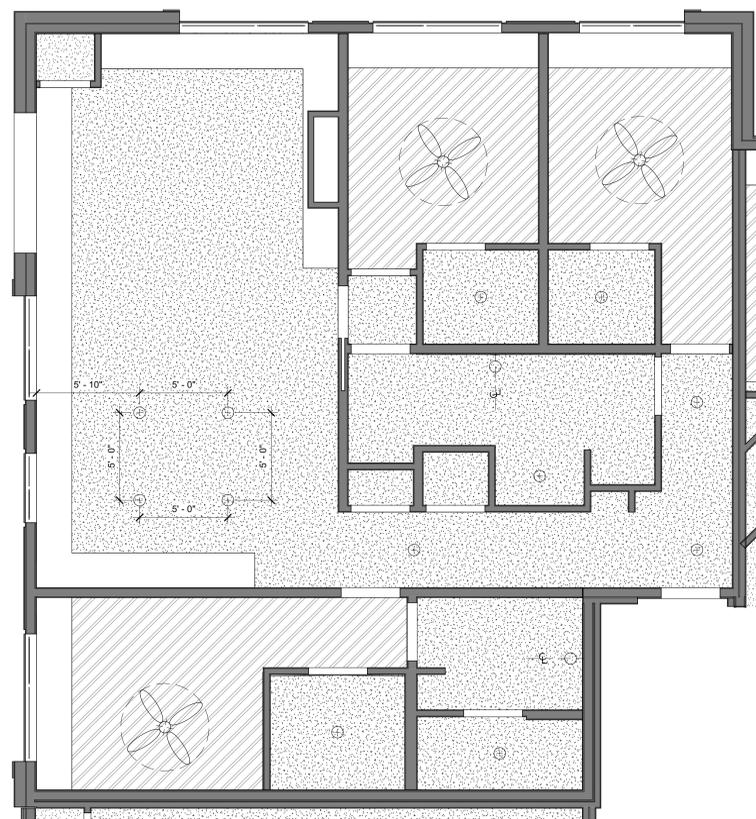
SHEET NUMBER



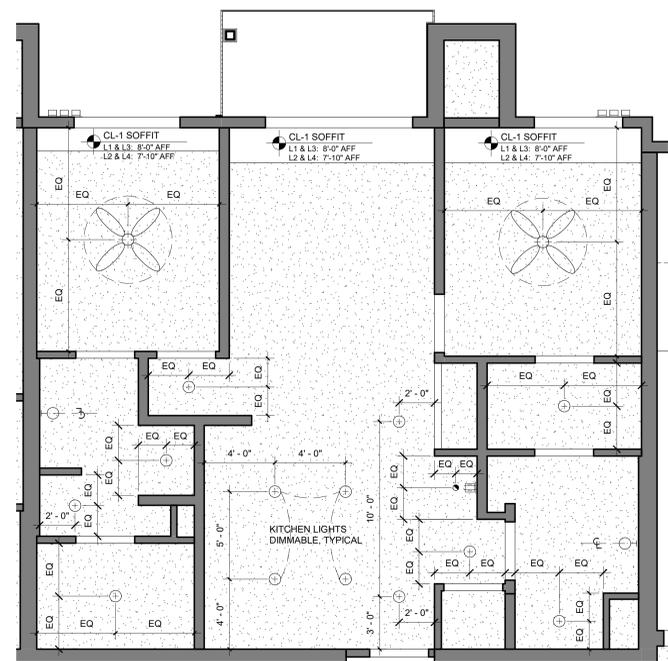
REGISTRATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

Date: _____ REG: _____

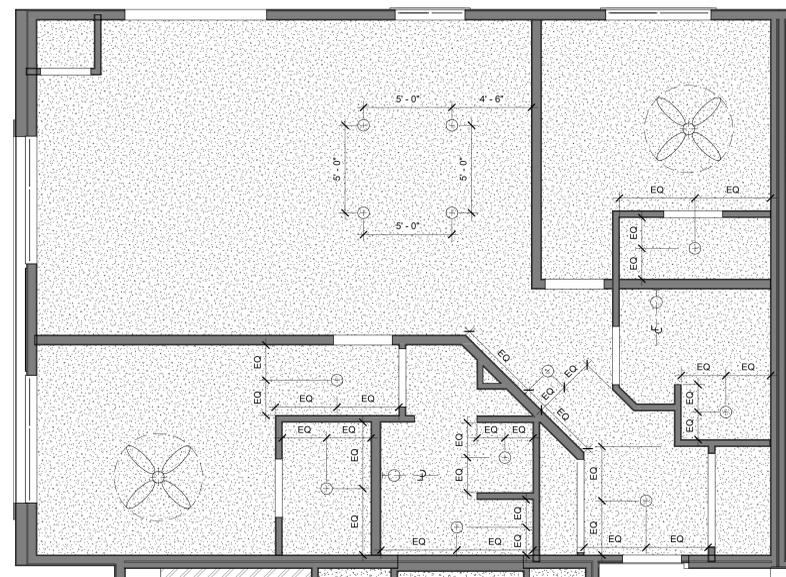
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No. Description Date



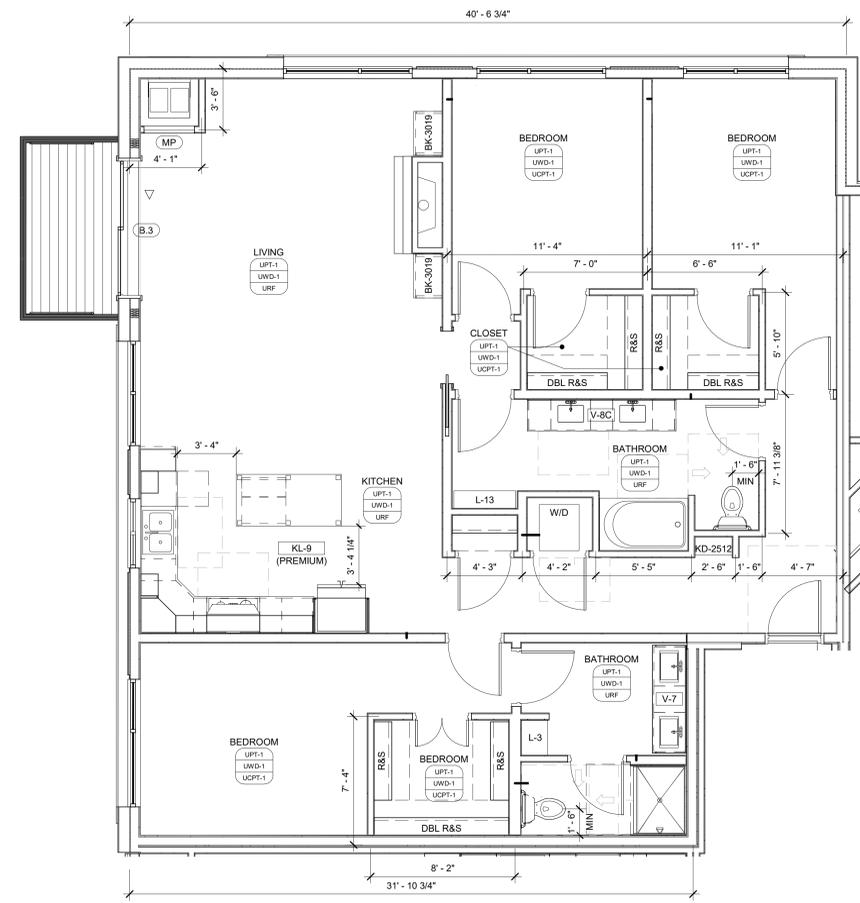
2 THREE BEDROOM RCP
1/4" = 1'-0"



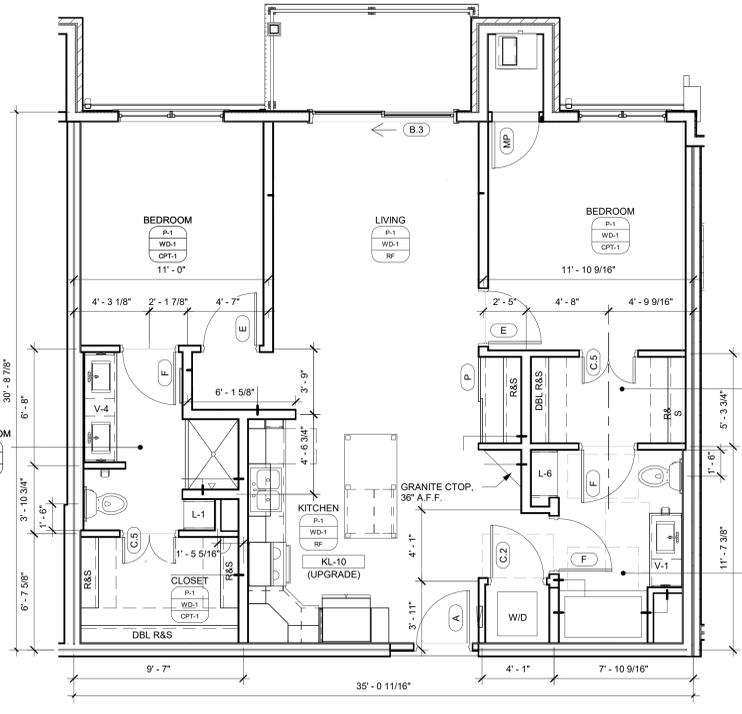
4 TWO BEDROOM 'C' RCP
1/4" = 1'-0"



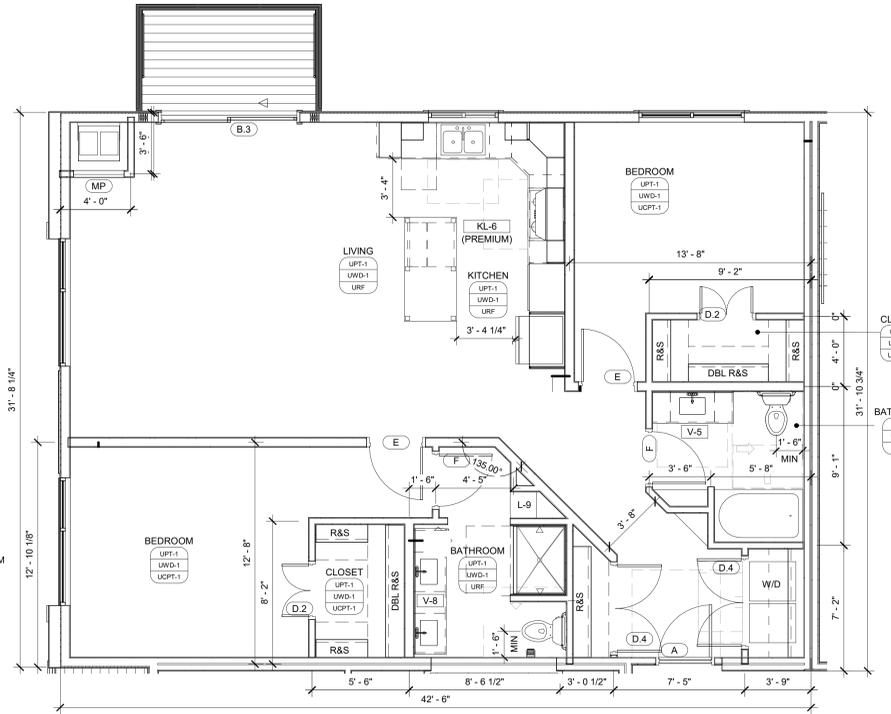
6 TWO BEDROOM 'D' RCP
1/4" = 1'-0"



1 THREE BEDROOM - APPROX. 1,615 SF (INTERIOR)
1/4" = 1'-0"



3 TWO BEDROOM 'C' - APPROX. 1,040 SF (INTERIOR)
1/4" = 1'-0"



5 TWO BEDROOM 'D' - APPROX. 1,280 SF (INTERIOR)
1/4" = 1'-0"

REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

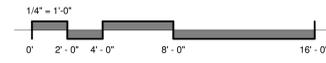
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952-288-0311 fax

SHEET TITLE
UNIT PLANS

SHEET NUMBER



EXTERIOR MATERIAL LEDGEND

- | | | | |
|---------------------------------------|--------------------------------------|------------------------------------------|---------------------------------------|
| ① FACE BRICK 1 (RED BLEND TBD) | ⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD) | ⑰ OVERHEAD COILING DOOR - PT TO MATCH | ⑳ FACE BRICK 3 (TAN BLEND TBD) |
| ② FACE BRICK 2 (DARK BLEND TBD) | ⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD) | ⑱ WINDOW | ㉑ CORRUGATED METAL PANEL |
| ③ ARCH EXT PNL 1 (COLOR 1 TBD) | ⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD) | ㉒ METAL RAILING | ㉓ ALUMINUM TRELLIS - PAINT |
| ④ ARCH EXT PNL 2 (COLOR 2 TBD) | ⑫ FIBER CEMENT TRIM - WHITE TBD | ㉔ METAL DOOR - PAINT TO MATCH ADJ. COLOR | ㉕ STANDING SEAM METAL ROOF |
| ⑤ ARCH EXT PNL 3 (COLOR 3 TBD) | ⑬ FIBER CEMENT TRIM - DARK TBD | ㉖ ALUM STORE FRONT | ㉗ ARCHITECTURAL PRECAST - BUFF |
| ⑥ SLIDING DOOR | ⑭ CAST STONE 16" X 24" BLOCKS | ㉘ MULTI-SLIDE DOOR | ㉙ ARCHITECTURAL PRECAST - ACCENT BAND |
| ⑦ FIBER CEMENT LAP SIDING - WHITE TBD | ⑮ CAST STONE BAND | ㉚ METAL COPING (MATCH ADJ. COLOR) | |
| ⑧ FIBER CEMENT LAP SIDING - GREY TBD | ⑯ GARAGE DOOR | ㉛ MAGIC PAK LOUVER - PT TO MATCH ADJ. | |



① NORTH EXTERIOR ELEVATION
1" = 10'-0"



② NORTH EXTERIOR ELEVATION CONTINUED
1" = 10'-0"

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EXTERIOR ELEVATIONS RESIDENCE

SHEET NUMBER

A 3.1

EXTERIOR MATERIAL LEDGEND

- | | | | |
|---------------------------------------|--------------------------------------|-------------------------------------------|---------------------------------------|
| ① FACE BRICK 1 (RED BLEND TBD) | ⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD) | ⑰ OVERHEAD COILING DOOR - PT TO MATCH | ⑳ FACE BRICK 3 (TAN BLEND TBD) |
| ② FACE BRICK 2 (DARK BLEND TBD) | ⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD) | ⑱ WINDOW | ㉑ CORRUGATED METAL PANEL |
| ③ ARCH EXT PNL 1 (COLOR 1 TBD) | ⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD) | ㉒ METAL RAILING | ㉓ ALUMINUM TRELLIS - PAINT |
| ④ ARCH EXT PNL 2 (COLOR 2 TBD) | ⑫ FIBER CEMENT TRIM - WHITE TBD | ㉔ METAL DOOR - PAINT TO MATCH ADJ. COLOR) | ㉕ STANDING SEAM METAL ROOF |
| ⑤ ARCH EXT PNL 3 (COLOR 3 TBD) | ⑬ FIBER CEMENT TRIM - DARK TBD | ㉖ ALUM STORE FRONT | ㉗ ARCHITECTURAL PRECAST - BUFF |
| ⑥ SLIDING DOOR | ⑭ CAST STONE 16" X 24" BLOCKS | ㉘ MULTI-SLIDE DOOR | ㉙ ARCHITECTURAL PRECAST - ACCENT BAND |
| ⑦ FIBER CEMENT LAP SIDING - WHITE TBD | ⑮ CAST STONE BAND | ㉚ METAL COPING (MATCH ADJ. COLOR) | |
| ⑧ FIBER CEMENT LAP SIDING - GREY TBD | ⑯ GARAGE DOOR | ㉛ MAGIC PAK LOUVER - PT TO MATCH ADJ. | |



① SOUTH EXTERIOR ELEVATION
1" = 10' - 0"



② SOUTH EXTERIOR ELEVATION CONTINUED
1" = 10' - 0"

ARCHITECT:
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ARCHITECTURE
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952-288-2000
952-288-2031 fax

REGISTRATION

DESIGN ARCHITECT:

ISSUE RECORD
Description Date

NOT FOR CONSTRUCTION

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007
DATE
11/05/2019
PROJECT MANAGER
MICHAEL DUNN
DRAWN BY
BEN LINDAU
CHECKED BY
EVAN DORAN

PREPARED FOR
DORAN
COMPANIES
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Bloomington, MN 55439
952-288-2000
952-288-2031 fax

SHEET TITLE
EXTERIOR ELEVATIONS RESIDENCE

SHEET NUMBER

A 3.2

EXTERIOR MATERIAL LEDGEND

- | | | | |
|---------------------------------------|--------------------------------------|------------------------------------------|---------------------------------------|
| ① FACE BRICK 1 (RED BLEND TBD) | ⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD) | ⑰ OVERHEAD COILING DOOR - PT TO MATCH | ⑳ FACE BRICK 3 (TAN BLEND TBD) |
| ② FACE BRICK 2 (DARK BLEND TBD) | ⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD) | ⑱ WINDOW | ㉑ CORRUGATED METAL PANEL |
| ③ ARCH EXT PNL 1 (COLOR 1 TBD) | ⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD) | ㉒ METAL RAILING | ㉓ ALUMINUM TRELLIS - PAINT |
| ④ ARCH EXT PNL 2 (COLOR 2 TBD) | ⑫ FIBER CEMENT TRIM - WHITE TBD | ㉔ METAL DOOR - PAINT TO MATCH ADJ. COLOR | ㉕ STANDING SEAM METAL ROOF |
| ⑤ ARCH EXT PNL 3 (COLOR 3 TBD) | ⑬ FIBER CEMENT TRIM - DARK TBD | ㉖ ALUM STORE FRONT | ㉗ ARCHITECTURAL PRECAST - BUFF |
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① EAST EXTERIOR ELEVATION
1" = 10' - 0"



② WEST EXTERIOR ELEVATION
1" = 10' - 0"

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EXTERIOR MATERIAL LEDGEND			
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② FACE BRICK 2 (DARK BLEND TBD)	⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱ WINDOW	㉑ CORRUGATED METAL PANEL
③ ARCH EXT PNL 1 (COLOR 1 TBD)	⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD)	㉒ METAL RAILING	㉓ ALUMINUM TRELLIS - PAINT
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① WEST EXTERIOR ELEVATION AT EAST WING
1" = 10'-0"

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SHEET TITLE
EXTERIOR ELEVATIONS RESIDENCE

SHEET NUMBER



③ OVERALL AERIAL LOOKING NORTH EAST



④ AERIAL LOOKING NE AT PHASE 1 PARKING COURT YARD

EXTERIOR MATERIAL LEDGEND			
① FACE BRICK 1 (RED BLEND TBD)	⑨ FIBER CEMENT PANEL 1 (COLOR 2 TBD)	⑰ OVERHEAD COILING DOOR - PT TO MATCH	⑳ FACE BRICK 3 (TAN BLEND TBD)
② FACE BRICK 2 (DARK BLEND TBD)	⑩ FIBER CEMENT PANEL 2 (COLOR 1 TBD)	⑱ WINDOW	㉑ CORRUGATED METAL PANEL
③ ARCH EXT PNL 1 (COLOR 1 TBD)	⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD)	㉒ METAL RAILING	㉓ ALUMINUM TRELLIS - PAINT
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① EAST EXTERIOR ELEVATION AT WEST WING
1" = 10' - 0"



② AERIAL LOOKING NW AT AMENITY DECK



③ PEDESTRIAN VIEW AT MAIN ENTRANCE

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A 3.5



① PEDESTRIAN VIEW @ NE CORNER FROM CHIPOLTE



② PEDESTRIAN VIEW @ NW CORNER FROM SALO PARK



③ PEDESTRIAN VIEW LOOKING WEST DOWN CUB FOODS CORRIDOR



④ AERIAL LOOKING NE AT AMENITY DECK

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SHEET NUMBER

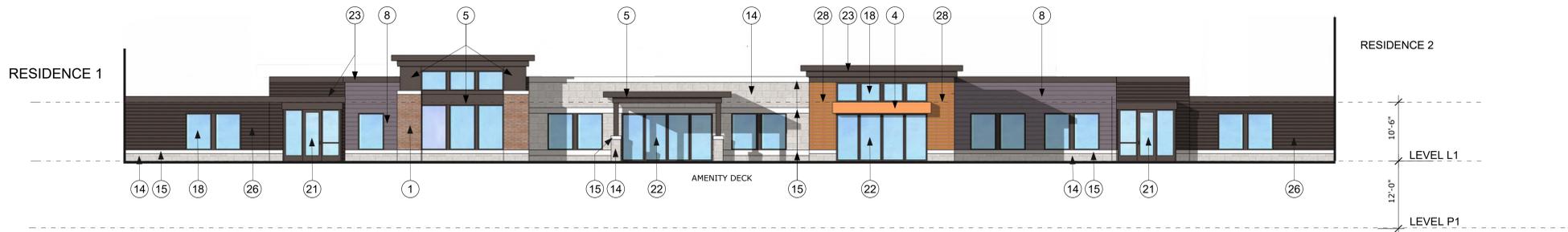
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EXTERIOR MATERIAL LEDGEND

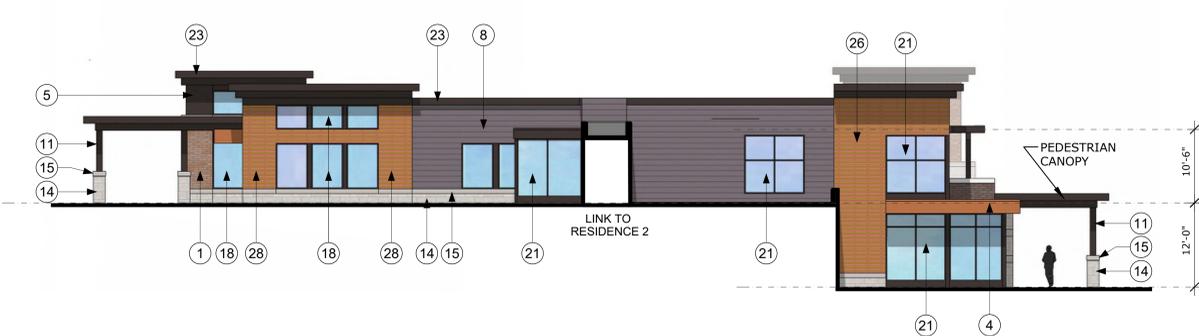
- | | | | |
|---------------------------------------|--------------------------------------|------------------------------------------|---------------------------------------|
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| ③ ARCH EXT PNL 1 (COLOR 1 TBD) | ⑪ FIBER CEMENT PANEL 3 (COLOR 3 TBD) | ㉒ METAL RAILING | ㉒ ALUMINUM TRELLIS - PAINT |
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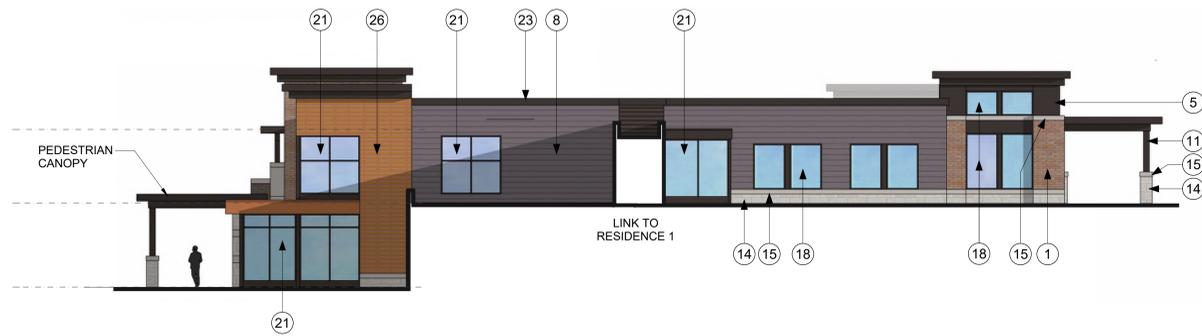
① EAST EXTERIOR ELEVATION
1" = 10' - 0"



② WEST EXTERIOR ELEVATION
1" = 10' - 0"



③ SOUTH EXTERIOR ELEVATION
1" = 10' - 0"



④ NORTH EXTERIOR ELEVATION
1" = 10' - 0"

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SHEET TITLE

EXTERIOR ELEVATIONS CLUB HOUSE

SHEET NUMBER

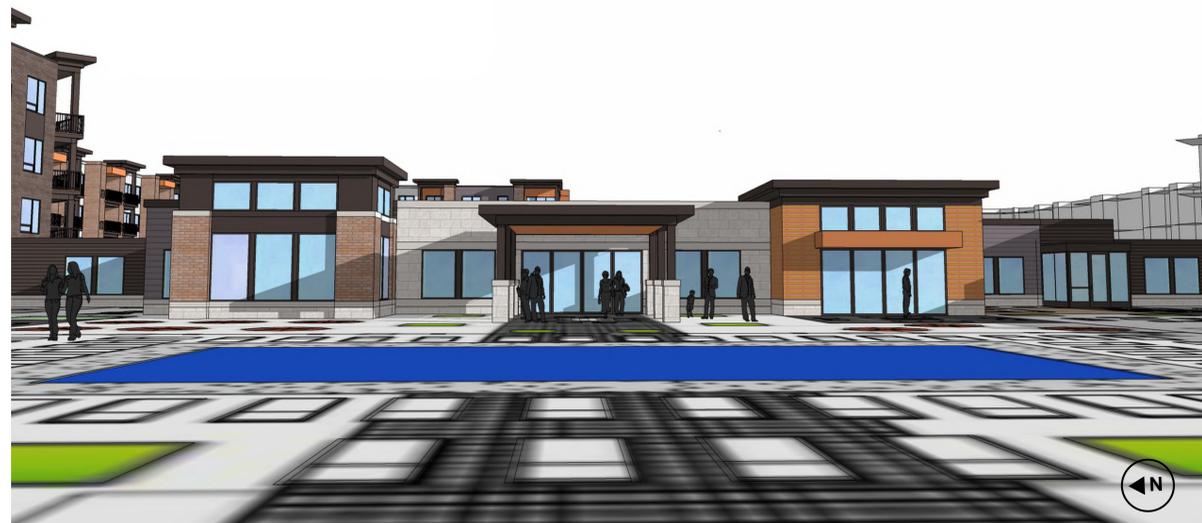
A 3.7



① AERIAL LOOKING SOUTHWEST



② ENTRANCE APPROACH



③ VIEW POOL SIDE



④ AERIAL LOOKING SOUTH EAST

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 SAINT ANTHONY, MN

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SHEET TITLE
EXTERIOR ELEVATIONS CLUB HOUSE

SHEET NUMBER

REGISTRATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDESMAN
MN
DATE: 11/05/2019 LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE MN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION), GENERAL SPECIFICATIONS FOR THE VILLAGE OF ST. ANTHONY, THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS, AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIACSE 3802, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND REPORT OF SUBSURFACE QUALITY DATA BY THE F.H.A. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.

EROSION CONTROL MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETRIORATION.

- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL OWNER/ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES

EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO PUBLIC AREAS SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.
- ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCRICHING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ST. ANTHONY ENGINEERING DIVISION.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL HAVE TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE. ANY REVISIONS TO THE EROSION CONTROL PLAN MADE BY THE CONTRACTOR MUST BE APPROVED BY THE ENGINEER.

PAVING AND STRIPING NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR MNDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND CITY STANDARDS.
- CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LINES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
- ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
- THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
- ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
- THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
- CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
- ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A.) GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
- CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
- BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MINDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOODED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SOODED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MINDOT SPECIFICATION.
- ALL CONCRETE/ASPHALT SHALL BE INSTALLED PER GEOTECH REPORT, CITY OF ST. ANTHONY AND MINDOT SPECIFICATIONS.
- SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
- BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL PROPOSED GRADES ONSITE SHALL BE ±1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN ±1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
- ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS, ±2% FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

REFER TO GEOTECHNICAL REPORT NO. B1904707
BRAUN INTEREC CORPORATION
11001 HAMPSHIRE AVENUE S
MINNEAPOLIS, MN 55438
DATED JULY 19, 2019

PROJECT

SILVER LAKE
VILLAGE

LOCATION

3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER

19-007

DATE

11/05/2019

PROJECT MANAGER

MGC

DRAWN BY

BPG

CHECKED BY

BMW

PREPARED FOR

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C100

FOR REFERENCE ONLY

LEGEND

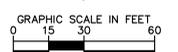
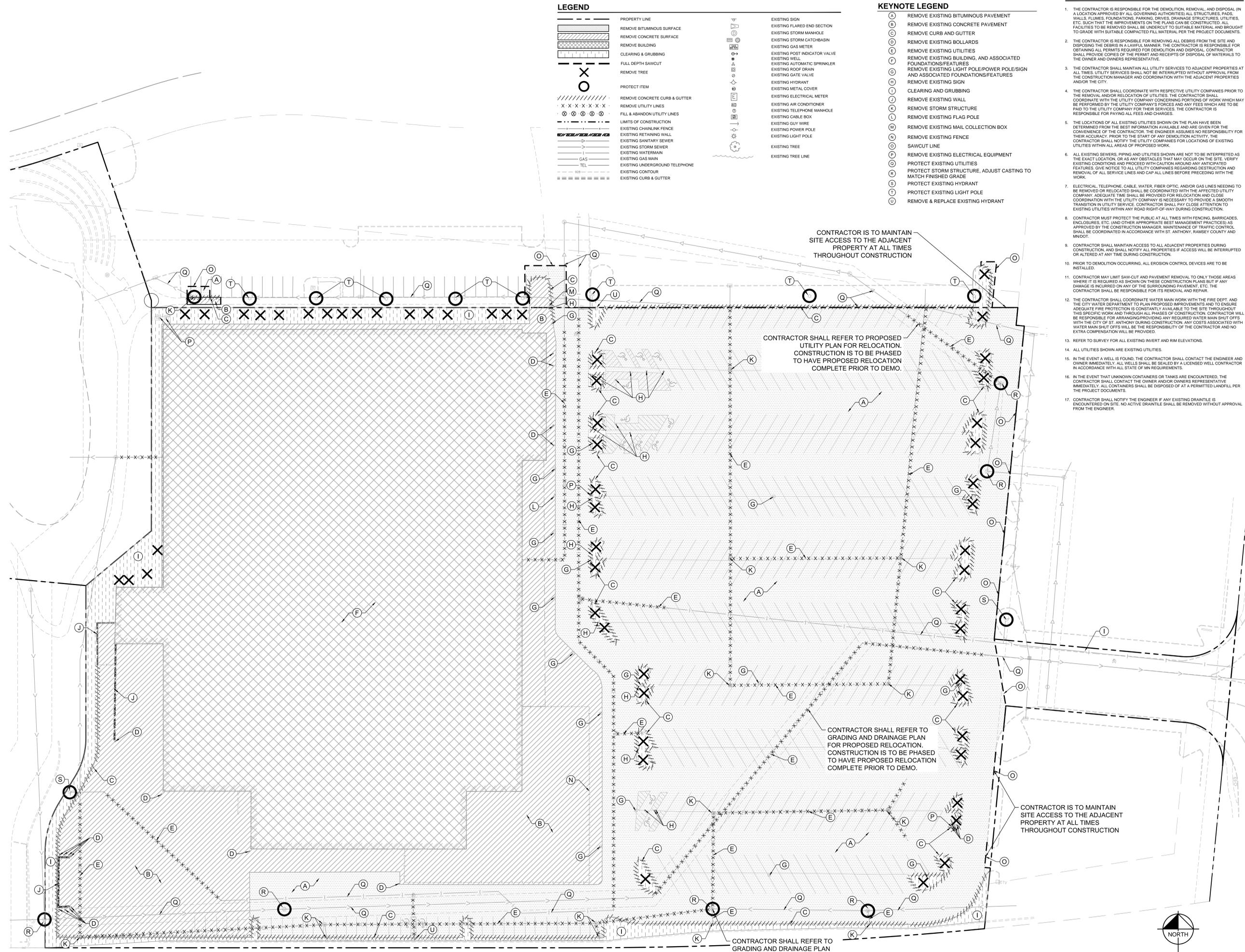
	PROPERTY LINE		EXISTING SIGN
	REMOVE BITUMINOUS SURFACE		EXISTING FLARED END SECTION
	REMOVE CONCRETE SURFACE		EXISTING STORM MANHOLE
	REMOVE BUILDING		EXISTING STORM CATCHBASIN
	CLEARING & GRUBBING		EXISTING GAS METER
	FULL DEPTH SAWCUT		EXISTING POST INDICATOR VALVE
	REMOVE TREE		EXISTING WELL
	PROTECT ITEM		EXISTING AUTOMATIC SPRINKLER
	REMOVE CONCRETE CURB & GUTTER		EXISTING ROOF DRAIN
	REMOVE UTILITY LINES		EXISTING GATE VALVE
	FILL & ABANDON UTILITY LINES		EXISTING HYDRANT
	LIMITS OF CONSTRUCTION		EXISTING METAL COVER
	EXISTING CHAINLINK FENCE		EXISTING ELECTRICAL METER
	EXISTING RETAINING WALL		EXISTING AIR CONDITIONER
	EXISTING SANITARY SEWER		EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER		EXISTING CABLE BOX
	EXISTING WATERMAIN		EXISTING GUY WIRE
	EXISTING GAS MAIN		EXISTING POWER POLE
	EXISTING UNDERGROUND TELEPHONE		EXISTING LIGHT POLE
	EXISTING CURB & GUTTER		EXISTING TREE
			EXISTING TREE LINE

KEYNOTE LEGEND

(A)	REMOVE EXISTING BITUMINOUS PAVEMENT
(B)	REMOVE EXISTING CONCRETE PAVEMENT
(C)	REMOVE CURB AND GUTTER
(D)	REMOVE EXISTING BOLLARDS
(E)	REMOVE EXISTING UTILITIES
(F)	REMOVE EXISTING BUILDING, AND ASSOCIATED FOUNDATIONS/FEATURES
(G)	REMOVE EXISTING LIGHT POLE/POWER POLE/SIGN AND ASSOCIATED FOUNDATIONS/FEATURES
(H)	REMOVE EXISTING SIGN
(I)	CLEARING AND GRUBBING
(J)	REMOVE EXISTING WALL
(K)	REMOVE STORM STRUCTURE
(L)	REMOVE EXISTING FLAG POLE
(M)	REMOVE EXISTING MAIL COLLECTION BOX
(N)	REMOVE EXISTING FENCE
(O)	SAWCUT LINE
(P)	REMOVE EXISTING ELECTRICAL EQUIPMENT
(Q)	PROTECT EXISTING UTILITIES
(R)	PROTECT STORM STRUCTURE, ADJUST CASTING TO MATCH FINISHED GRADE
(S)	PROTECT EXISTING HYDRANT
(T)	PROTECT EXISTING LIGHT POLE
(U)	REMOVE & REPLACE EXISTING HYDRANT

DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES; ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD-RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH ST. ANTHONY, RAMSEY COUNTY AND MNDOT.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF ST. ANTHONY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
- ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.



K:\TWC_LDEVORAN COMPANIES Silver Lake Wai-mat - St. Anthony Apartments3 Design\CAD\Plan\Sheets\C2-DEMO PLAN.dwg November 04, 2019 - 4:58pm
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FOR REFERENCE ONLY

- KEYNOTE LEGEND**
- (A) CONSTRUCTION ENTRANCE
 - (B) LIMITS OF DISTURBANCE, OFFSET FROM BACK OF CURB/PROPERTY LINE FOR CLARITY
 - (C) BIO-ROLL
 - (D) INLET PROTECTION
 - (E) CONSTRUCTION SAFETY FENCE, OFFSET FROM BACK OF CURB/PROPERTY LINE FOR CLARITY

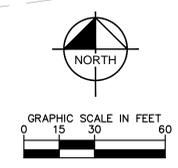
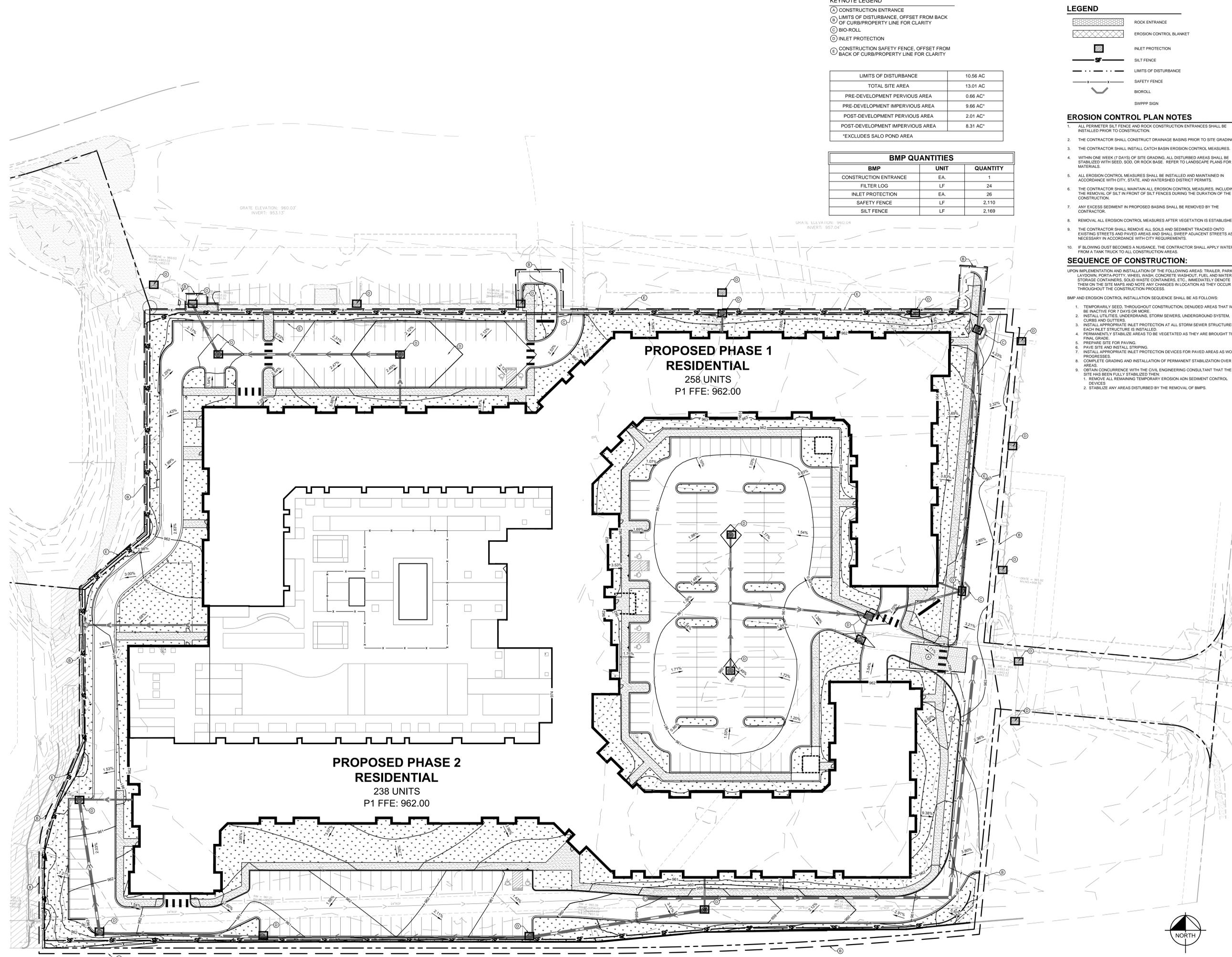
LIMITS OF DISTURBANCE	10.56 AC
TOTAL SITE AREA	13.01 AC
PRE-DEVELOPMENT PERVIOUS AREA	0.66 AC*
PRE-DEVELOPMENT IMPERVIOUS AREA	9.66 AC*
POST-DEVELOPMENT PERVIOUS AREA	2.01 AC*
POST-DEVELOPMENT IMPERVIOUS AREA	8.31 AC*
*EXCLUDES SALO POND AREA	

BMP QUANTITIES		
BMP	UNIT	QUANTITY
CONSTRUCTION ENTRANCE	EA.	1
FILTER LOG	LF	24
INLET PROTECTION	EA.	26
SAFETY FENCE	LF	2,110
SILT FENCE	LF	2,169

- LEGEND**
- ROCK ENTRANCE
 - EROSION CONTROL BLANKET
 - INLET PROTECTION
 - SILT FENCE
 - LIMITS OF DISTURBANCE
 - SAFETY FENCE
 - BIOROLL
 - SWPPP SIGN

- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
 - WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SO2, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
 - ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
 - REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
 - THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
 - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

- SEQUENCE OF CONSTRUCTION:**
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENIED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 - INSTALL UTILITIES UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
 - INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE AND INSTALL STRIPING.
 - INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 - OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPS.



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REGISTRATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDESMAN
MN LIC. NO. 53113
DATE: 11/5/2019

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR

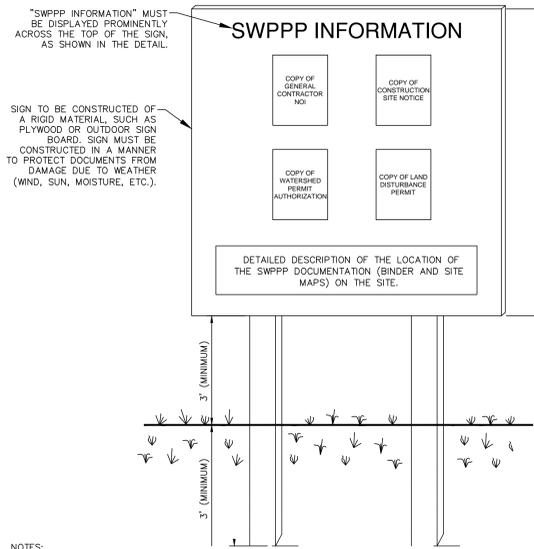
DORAN COMPANIES
7803 Glenway Road, Suite 200
Bloomington, MN 55439
952-285-2000
952-285-2031 fax

SHEET TITLE

SWPPP DETAILS

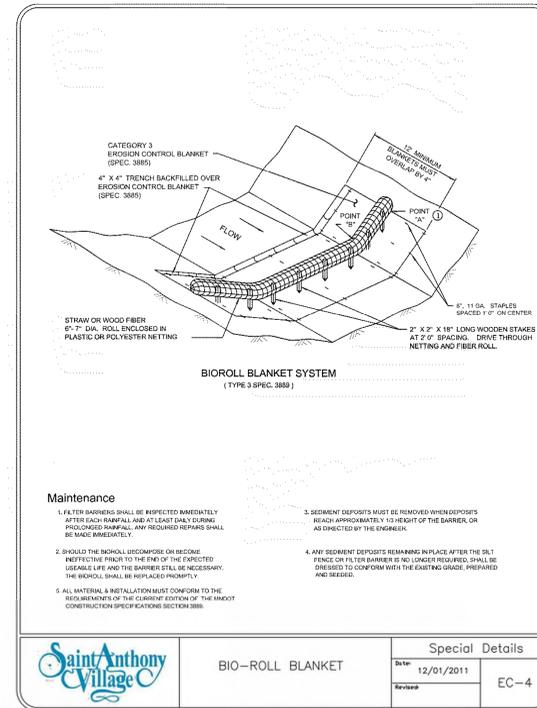
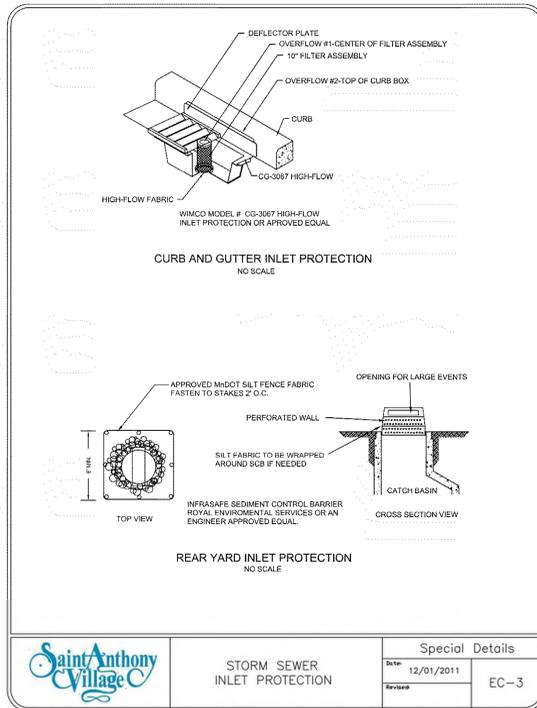
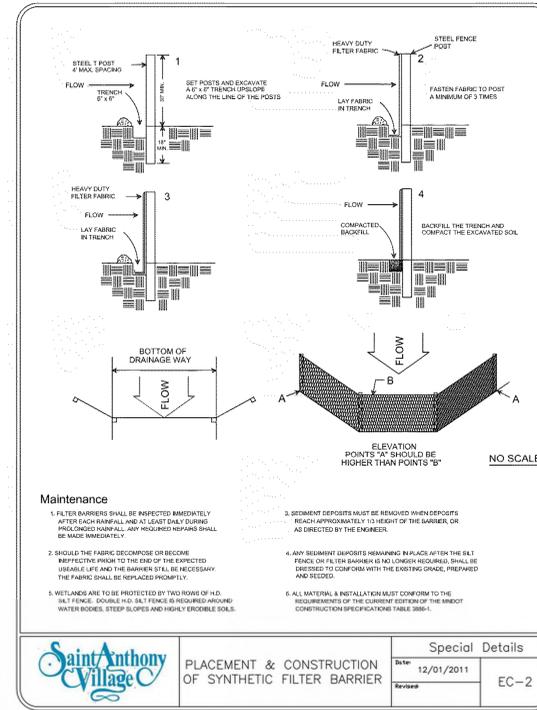
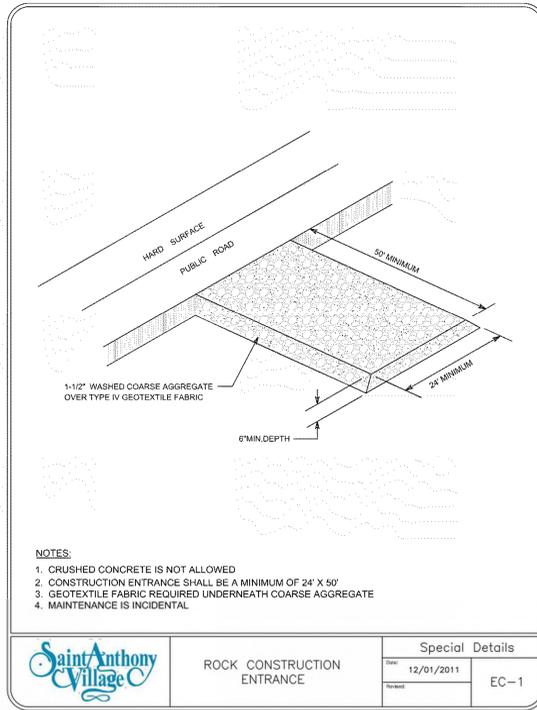
SHEET NUMBER

C302



- NOTES:
1. THE SWPPP INFORMATION SIGN MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE, SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.
 2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 3. ALL PAGES OF NOTICES OF INTENT AND PERMIT AUTHORIZATIONS MUST BE POSTED. THE CONTRACTOR MAY UTILIZE ACCESSIBLE WATERPROOF FOLDERS TO STORE THESE DOCUMENTS IF IT WILL BE DIFFICULT TO POST ALL PAGES INDIVIDUALLY.
 4. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCIES.
 5. SUBSEQUENT PERMIT MODIFICATION REQUESTS OR RENEWAL APPLICATIONS AND THEIR ASSOCIATED AUTHORIZATIONS OR RESPONSES SHALL BE POSTED ON THE SWPPP SIGN.
 6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN
N.T.S.



FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR

DORAN COMPANIES
7603 Glenway Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

SHEET TITLE

SITE PLAN

SHEET NUMBER

C400

PLOT DATE: 8/29/2019 8:01:32 AM

LEGEND

- PROPERTY LINE
- RETAINING WALL
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING, REFER TO LANDSCAPE PLANS
- PROPOSED AMENITY HARDSCAPING, REFER TO LANDSCAPE PLANS

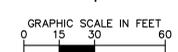
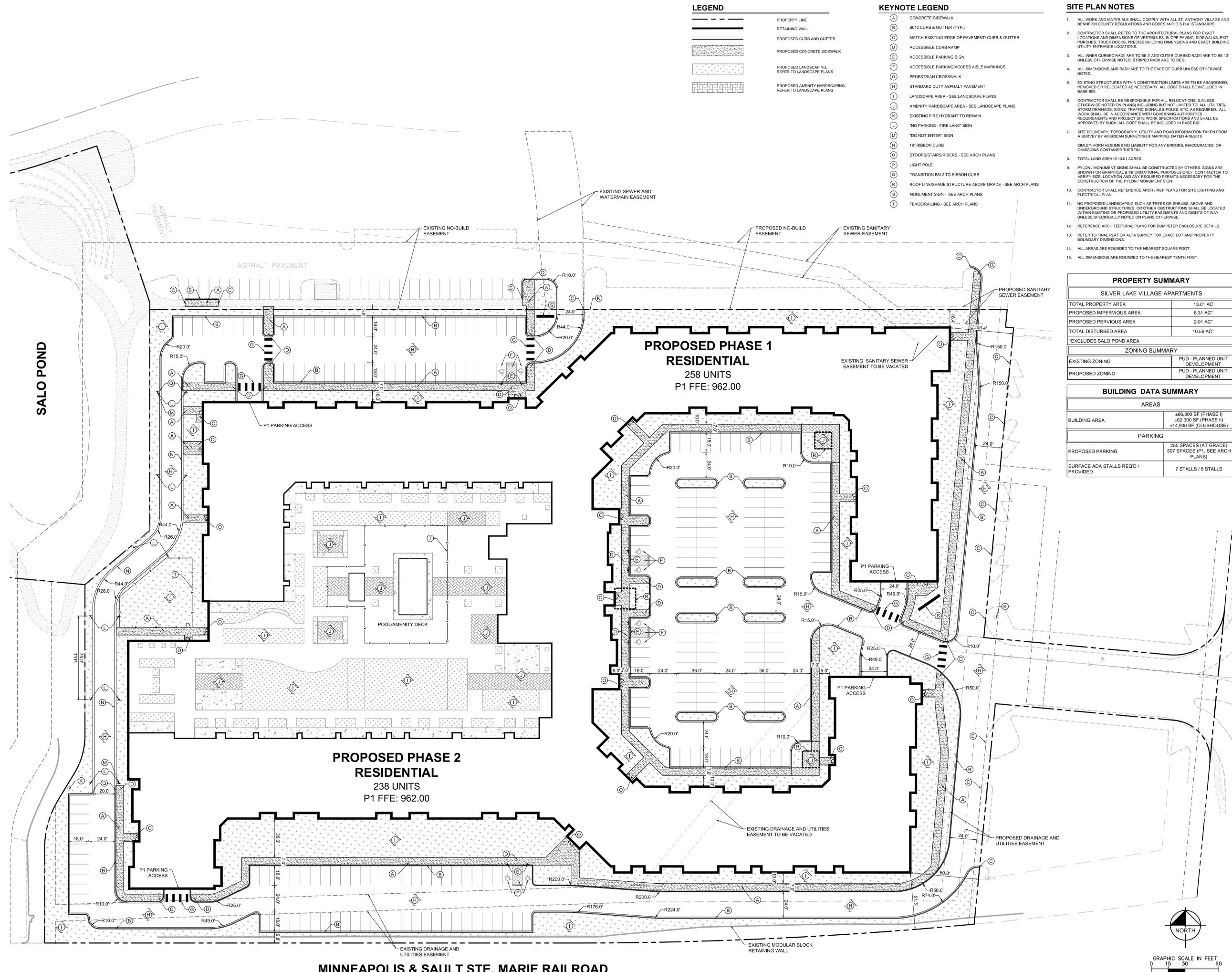
KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) B612 CURB & GUTTER (TYP.)
- (C) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (D) ACCESSIBLE CURB RAMP
- (E) ACCESSIBLE PARKING SIGN
- (F) ACCESSIBLE PARKING/ACCESS AISLE MARKINGS
- (G) PEDESTRIAN CROSSWALK
- (H) STANDARD DUTY ASPHALT PAVEMENT
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) AMENITY HARDSCAPE AREA - SEE LANDSCAPE PLANS
- (K) EXISTING FIRE HYDRANT TO REMAIN
- (L) "NO PARKING - FIRE LANE" SIGN
- (M) "DO NOT ENTER" SIGN
- (N) 18" RIBBON CURB
- (O) STOOPS/STAIRS/RISERS - SEE ARCH PLANS
- (P) LIGHT POLE
- (Q) TRANSITION B612 TO RIBBON CURB
- (R) ROOF LINE/SHADE STRUCTURE ABOVE GRADE - SEE ARCH PLANS
- (S) MONUMENT SIGN - SEE ARCH PLANS
- (T) FENCE/RAILING - SEE ARCH PLANS

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL ST. ANTHONY VILLAGE AND HENNEPIN COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLIPES PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL INNER CURBED RADII ARE TO BE 5' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPPED RADII ARE TO BE 0.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY AMERICAN SURVEYING & MAPPING, DATED 4/18/2019. KIMLEY-HORN ASSURES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
8. TOTAL LAND AREA IS 13.01 ACRES.
9. Pylon / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
10. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
11. NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
12. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
13. REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
14. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
15. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.

PROPERTY SUMMARY	
SILVER LAKE VILLAGE APARTMENTS	
TOTAL PROPERTY AREA	13.01 AC
PROPOSED IMPERVIOUS AREA	8.31 AC*
PROPOSED PERVIOUS AREA	2.01 AC*
TOTAL DISTURBED AREA	10.56 AC*
*EXCLUDES SALO POND AREA	
ZONING SUMMARY	
EXISTING ZONING	PUD - PLANNED UNIT DEVELOPMENT
PROPOSED ZONING	PUD - PLANNED UNIT DEVELOPMENT
BUILDING DATA SUMMARY	
AREAS	
BUILDING AREA	±66,300 SF (PHASE I) ±62,300 SF (PHASE II) ±14,900 SF (CLUBHOUSE)
PARKING	
PROPOSED PARKING	255 SPACES (AT GRADE) 507 SPACES (P1, SEE ARCH PLANS)
SURFACE ADA STALLS REQ'D / PROVIDED	7 STALLS / 8 STALLS



MINNEAPOLIS & SAULT STE. MARIE RAILROAD

K:\TWC_LDEV\DORAN COMPANIES Silver Lake Wai-mat - St. Anthony Apartments3 Design\CAD\Plan\Sheets\C4-SITE PLAN.dwg November 04, 2019 - 5:58pm
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LEGEND

	PROPERTY LINE
	RETAINING WALL
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPING
	PROPOSED REINFORCED TURF

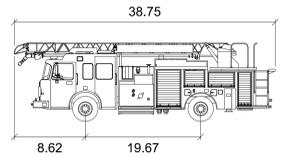
ENGINEER:
Kimley»Horn
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-445-4197
 WWW.KIMLEY-HORN.COM

REGISTRATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDEMAN
 MN LIC. NO. 53113
 DATE: 11/5/2019

ISSUE RECORD

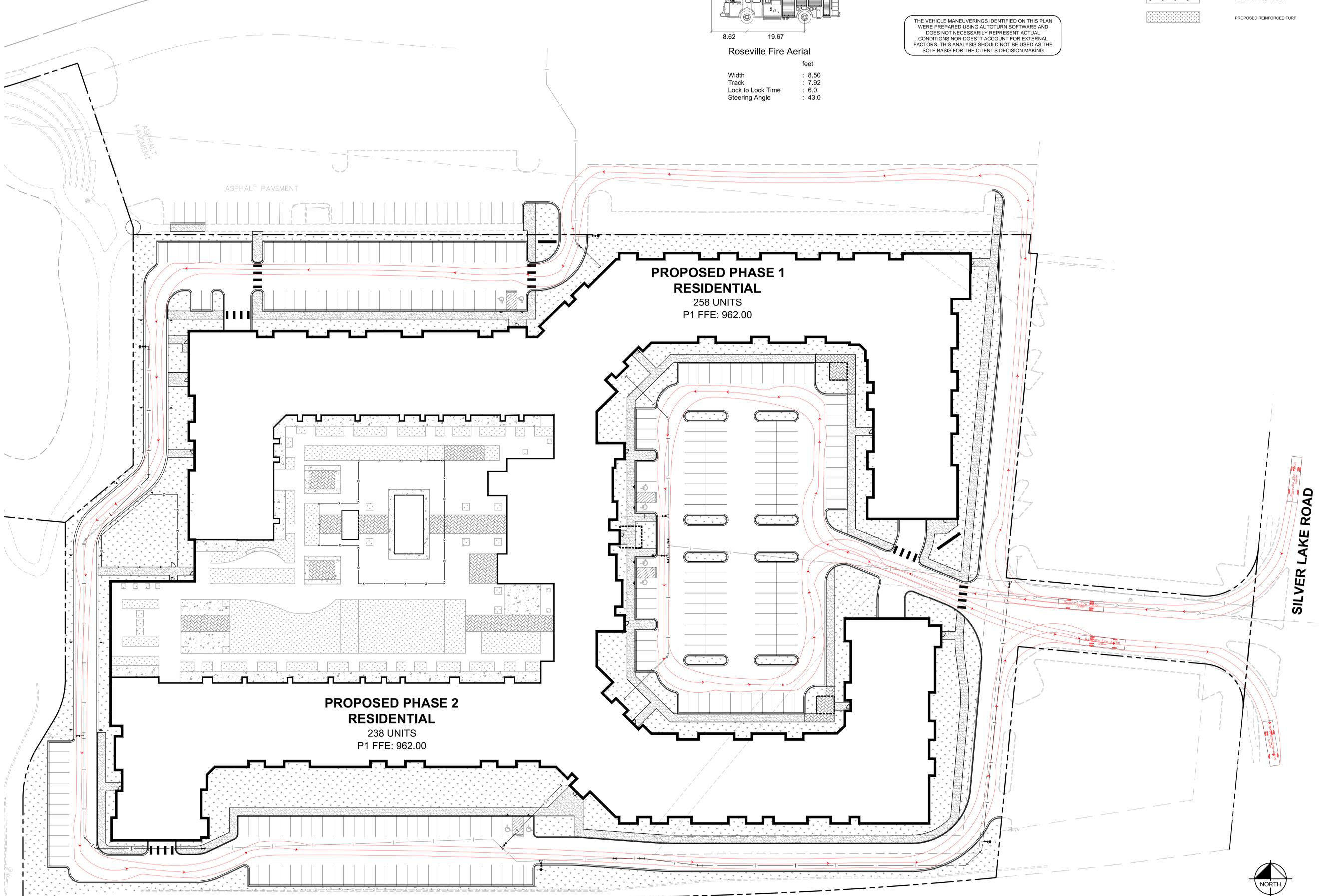
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019



Roseville Fire Aerial
 feet
 Width : 8.50
 Track : 7.92
 Lock to Lock Time : 6.0
 Steering Angle : 43.0

THE VEHICLE MANEUVERINGS IDENTIFIED ON THIS PLAN WERE PREPARED USING AUTOTURN SOFTWARE AND DOES NOT NECESSARILY REPRESENT ACTUAL CONDITIONS NOR DOES IT ACCOUNT FOR EXTERNAL FACTORS. THIS ANALYSIS SHOULD NOT BE USED AS THE SOLE BASIS FOR THE CLIENT'S DECISION MAKING

K:\TWC_LDEVORAN COMPANIES\Silver Lake Wdr\mat - St. Anthony Apartments3 Design\CAD\Exhibits\EC Fire Truck Coverage.dwg November 04, 2019 - 5:01pm
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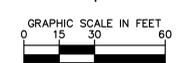
PROJECT
SILVER LAKE VILLAGE

LOCATION
 3800 SILVER LAKE RD.
 SAINT ANTHONY, MN
 PROJECT NUMBER
 19-007
 DATE
 11/05/2019
 PROJECT MANAGER
 MGC
 DRAWN BY
 BPG
 CHECKED BY
 BMW

PREPARED FOR
DORAN COMPANIES
 7603 Glenney Road, Suite 200
 Bloomington, MN 55439
 952-288-2000
 952-288-2031 fax

SHEET TITLE
FIRE TRUCK COVERAGE

SHEET NUMBER
C401



MINNEAPOLIS & SAULT STE. MARIE RAILROAD

PLOT DATE: 8/29/2019 8:01:32 AM

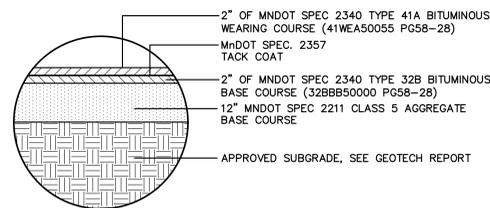
REGISTRATION

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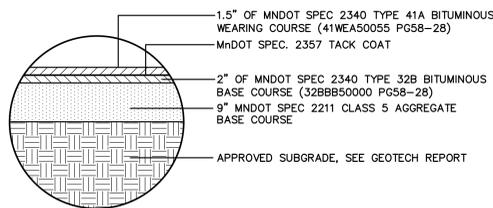
BRIAN M. WURDESMAN
MN
DATE: 11/05/2019 LIC. NO. 53113

ISSUE RECORD

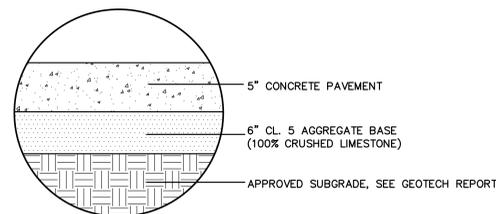
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019



MEDIUM DUTY BITUMINOUS NTS



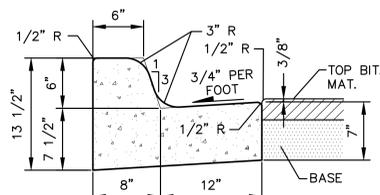
LIGHT DUTY BITUMINOUS NTS



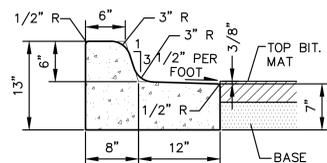
CONCRETE SIDEWALK NTS



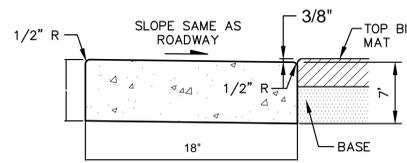
ALL SIGN LETTERS TO COMPLY WITH STANDARD ALPHABETS FOR HIGHWAY SIGNS (SERIES C 2000)
"NO PARKING - FIRE LANE" SIGN
N.T.S.



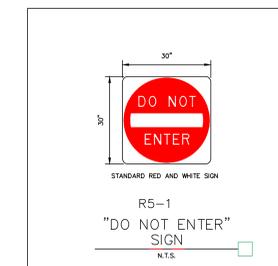
B612 CURB & GUTTER



B612 CURB & GUTTER (OUTFALL)

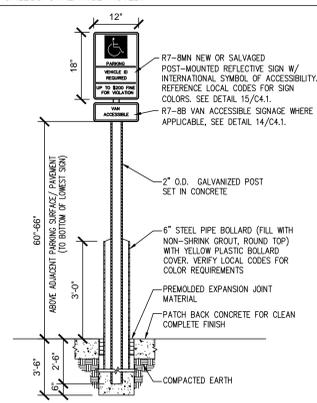


CONCRETE RIBBON CURB (OUTFALL)



STANDARD RED AND WHITE SIGN
R5-1 "DO NOT ENTER" SIGN
N.T.S.

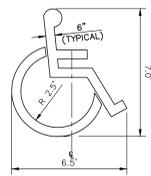
- NOTES:**
- CONTRACTOR TO VERIFY ALL EXISTING SIGNAGE TO COMPLY WITH THE LOCAL BUILDING CODE. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS TO EXISTING SIGNAGE AS REQUIRED BY LOCAL AUTHORITIES.
 - SIGNS SHALL BE CENTERED AT THE END OF EACH STALL UNLESS OTHERWISE NOTED.



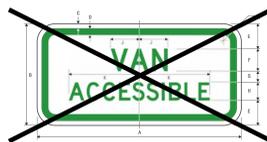
ACCESSIBLE SIGN BOLLARD DETAIL



R7-8MN ADA PARKING SIGN

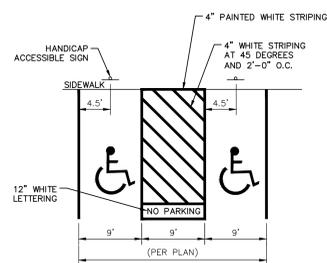


ACCESSIBLE PARKING SYMBOL

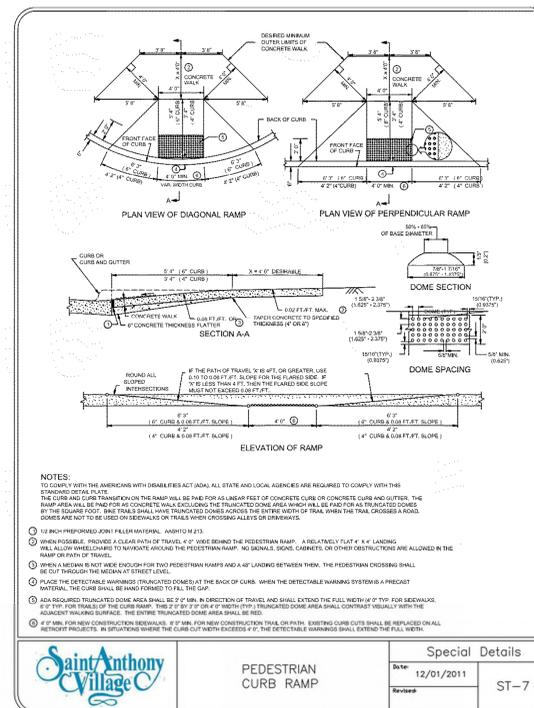


PARKING APPLICATION		SIGNAL APPLICATION	
COLOR	LETTERS	COLOR	LETTERS
BACKGROUND - WHITE	REFLECTIVE LETTERS	BACKGROUND - BLUE	REFLECTIVE LETTERS

VAN ACCESSIBLE SIGN DETAIL

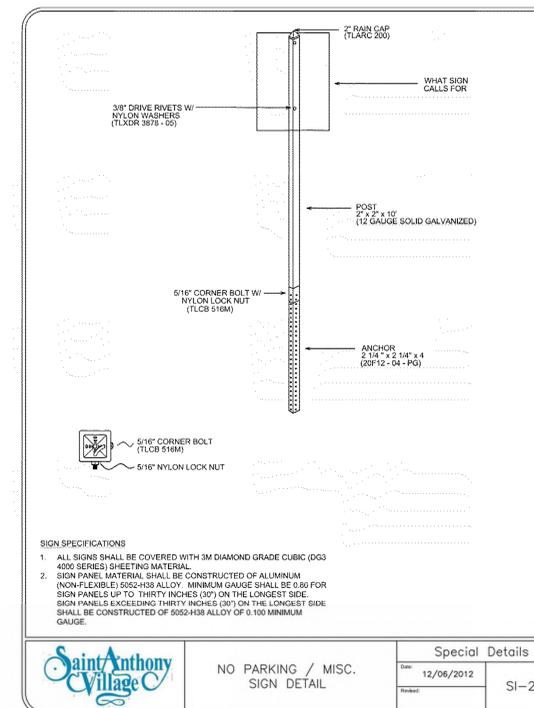


TYPICAL HANDICAP STRIPING



- NOTES:**
- TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), ALL STATE AND LOCAL AGENCIES ARE REQUIRED TO COMPLY WITH THIS PROVISION.
 - THE CURB AND CURB TRANSITION ON THE RAMP SHALL BE MADE FOR AS LEAST FEET OF CONCRETE CURB OR CONCRETE CURB AND GUTTER. THE RAMP AREA SHALL BE TRANSITION TO CONCRETE WALK EXCEPT FOR THE TRUCKED DOME AREA WHICH SHALL BE MADE FOR AS TRUCKED DOME BY THE SQUARE FOOT. THE TRAILS SHALL HAVE TRUCKED DOME ACCESS TO THE ENTIRE WIDTH OF TRAIL, WHEN THE TRAIL CROSSES A ROAD, CROSSES ARE NOT TO BE USED OR BEHIND OR TRAIL CROSSING ALLEYS OR DRIVEWAYS.
 - 10 INCH PREPARED JOHN F. FULLER OVERLAY, A5810 H 213
 - WHEN POSSIBLE, PROVIDE A CLEAR PATH OF TRAVEL, 4' WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 1/4" X 4" LANDING SHALL ALLOW WHEELCHAIRS TO MANEUVER AROUND THE PEDESTRIAN RAMP. NO SIGNALS, SIGNS, OBSTACLES OR OTHER OBSTRUCTIONS ARE ALLOWED IN THE CLEAR PATH OF TRAVEL.
 - WHEN A MEDIAN IS NOT SIDE SLOPE EXCEPT FOR TWO PEDESTRIAN RAMPS AND A 40' LANDING BETWEEN THEM, THE PEDESTRIAN CROSSESS SHALL BE CUT THROUGH THE MEDIAN AT STREET LEVEL.
 - PLACE THE DETECTABLE WARNING (TRUCKED DOME) AT THE BACK OF CURB. WHEN THE DETECTABLE WARNING SYSTEM IS A PRECAST MATERIAL, THE CURB SHALL BE HAND FORMED TO FILL THE GAP.
 - NEW REQUIRED TRUCKED DOME AREA SHALL BE 2' WIDE IN DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF 1' WIDE FOR SIDEWALKS. 2' WIDE FOR TRAILS OF THE CURB RAMP. THIS 2' WIDE OF 4' WIDE (1' WIDE) TRUCKED DOME AREA SHALL CONTRAST VISUALLY WITH THE ADJACENT FINISH SURFACE. THE DETECTABLE WARNING SHALL BE RED.
 - IF AN ADA FOR NEW CONSTRUCTION SIDEWALKS, IF 2' WIDE FOR NEW CONSTRUCTION TRAIL OR PARK, EXISTING CURB CUTS SHALL BE REPLACED ON ALL NEW TRUCKED DOME. IN SITUATIONS WHERE THE CURB CUT WIDTH EXCEEDS 4' THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH.

Saint Anthony Village	PEDESTRIAN CURB RAMP	Special Details
	Date: 12/01/2011	ST-7



- SIGN SPECIFICATIONS**
- ALL SIGNS SHALL BE COVERED WITH 3M DIAMOND GRADE CUBIC (DGG) 4000 SERIES SHEETING MATERIAL.
 - SIGN PANEL MATERIAL SHALL BE CONSTRUCTED OF ALUMINUM (NON-FLEXIBLE) 6063-T5 ALLOY. MINIMUM GAUGE SHALL BE .030 FOR SIGN PANELS UP TO THIRTY INCHES (30") ON THE LONGEST SIDE. SIGN PANELS EXCEEDING THIRTY INCHES (30") ON THE LONGEST SIDE SHALL BE CONSTRUCTED OF 6063-T5 ALLOY OF 0.100 MINIMUM GAUGE.

Saint Anthony Village	NO PARKING / MISC. SIGN DETAIL	Special Details
	Date: 12/06/2012	SI-2

FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

SHEET NUMBER
19-007
DATE
11/05/2019
PROJECT MANAGER
MGC
DRAWN BY
BPG
CHECKED BY
BMW

PREPARED FOR
DORAN COMPANIES
7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-285-2000
952-288-2031 fax

SHEET TITLE
SITE DETAILS

SHEET NUMBER

C402

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LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
○	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
○	PROPOSED STORM MANHOLE (CURB INLET CASTING)
○	PROPOSED STORM MANHOLE/CATCH BASIN (CURB INLET CASTING)
○	PROPOSED STORM SEWER
○	PROPOSED SPOT ELEVATION
○	PROPOSED HIGH POINT ELEVATION
○	PROPOSED LOW POINT ELEVATION
○	MATCH EXISTING ELEVATION
○	PROPOSED DRAINAGE DIRECTION

GRADING PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. ANTHONY, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HOPE: 12" OR GREATER PER ASTM F-2308
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-991, C-990, AND C-443
HOPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL SEWER ALIGNMENTS.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 1" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 5" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1% VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% 15% TARGET IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
- ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX.XXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "IN-FALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUT-FALL CURB" WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

KimleyHorn
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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
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REGISTRATION

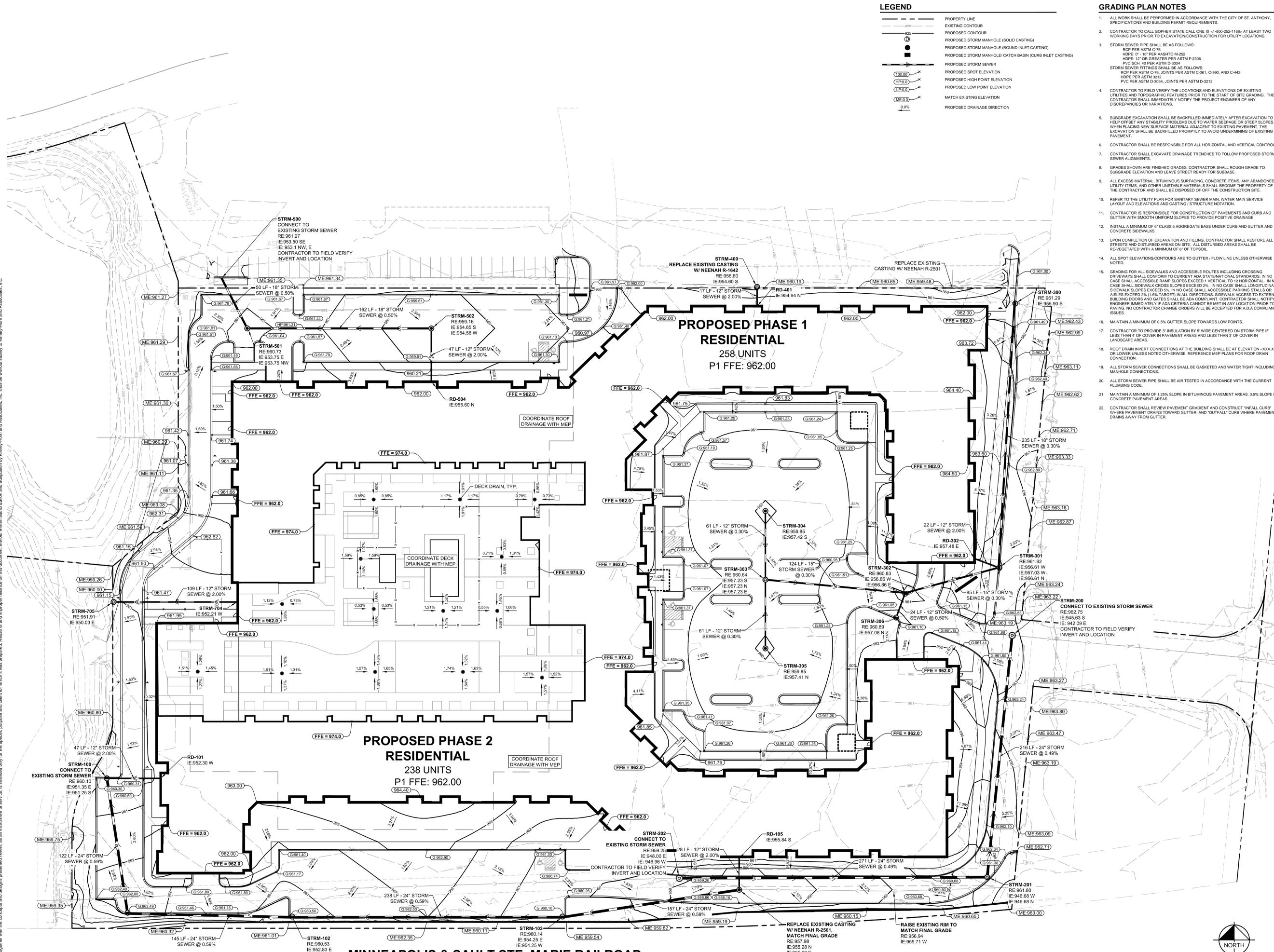
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BRIAN M. WURDEMAN
ME
DATE: 11/05/2019 LIC. NO. 53113

ISSUE RECORD

No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY



PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR
DORAN COMPANIES
7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-285-2000
952-285-2031 fax

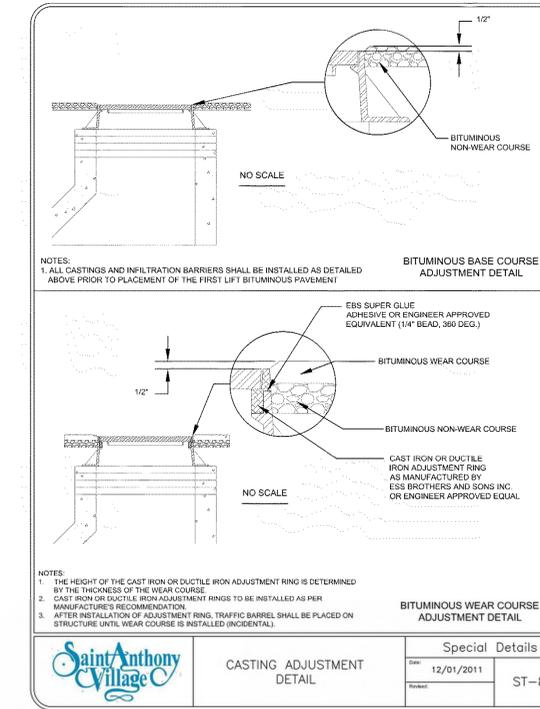
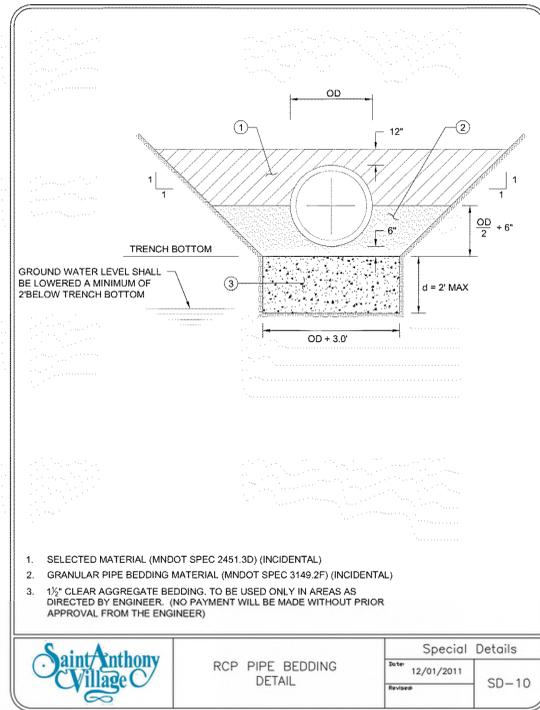
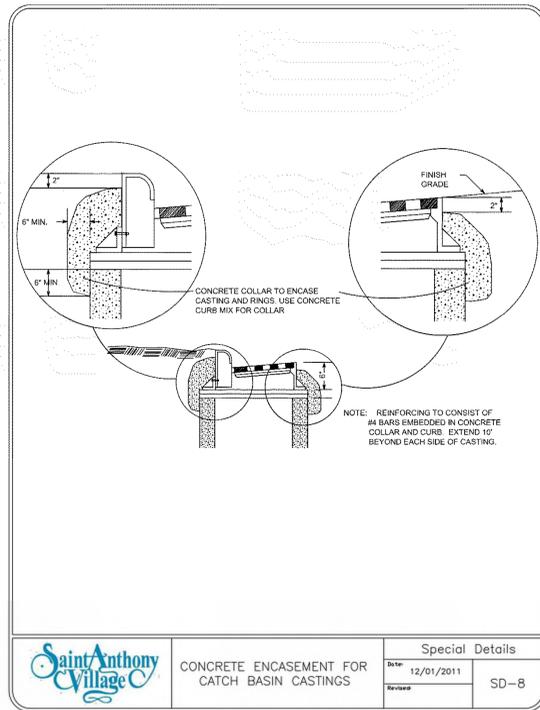
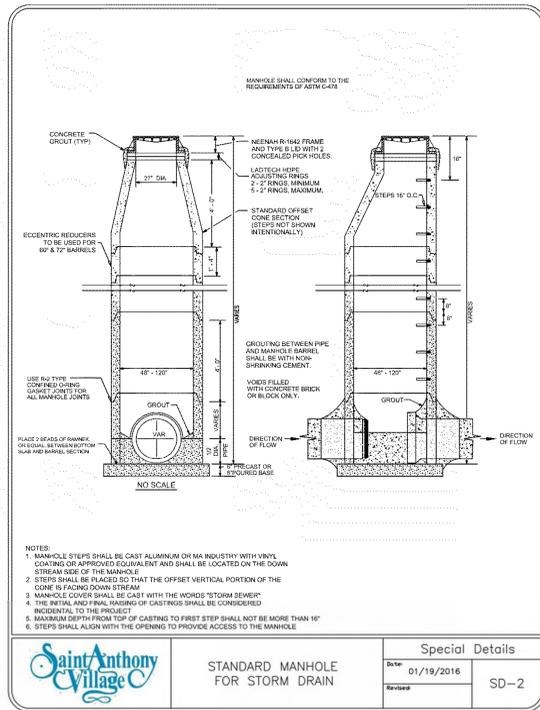
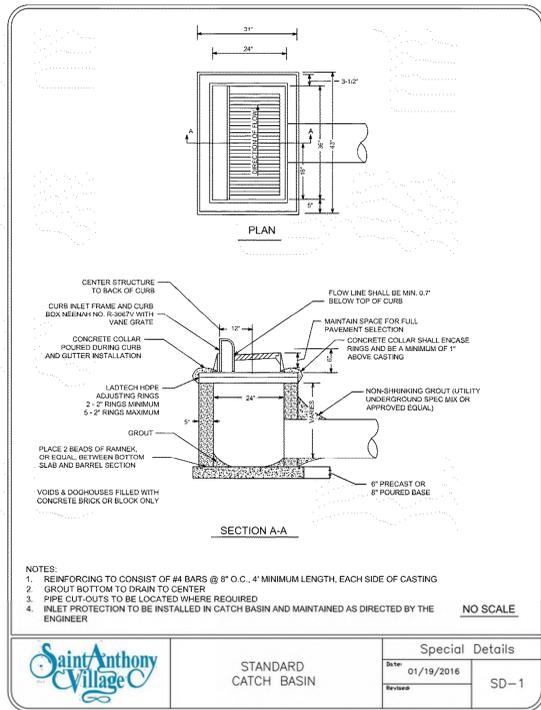
SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NUMBER
C500

GRAPHIC SCALE IN FEET
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PLANT DATE: 8/29/2019 8:01:32 AM

K:\TWC_LDEVORAN COMPANIES Silver Lake Walmart - St. Anthony Apartments3 Design\CAD\Plan\Sheets\CS-GRADING PLAN.dwg November 04, 2019 - 5:02pm
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FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR

DORAN COMPANIES

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952-288-2000
952-288-2031 fax

SHEET TITLE

GRADING DETAILS

SHEET NUMBER

C502

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN

- ### UTILITY PLAN NOTES
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
6" PVC SDR35 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40 PER ASTM D-3034
DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
6" AND LARGER, PVC C-90 PER ASTM D 2241
CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
SMALLER THAN 4" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING WITH STAINLESS STEEL OR CORAL BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF ST. ANTHONY AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFERENCE ARCH/MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DOCV AND PR2 ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH/MEP PLANS.
 - ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

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 BRIAN M. WURDEMAN
 PE
 DATE: 11/05/2019 LIC. NO. 53113

ISSUE RECORD

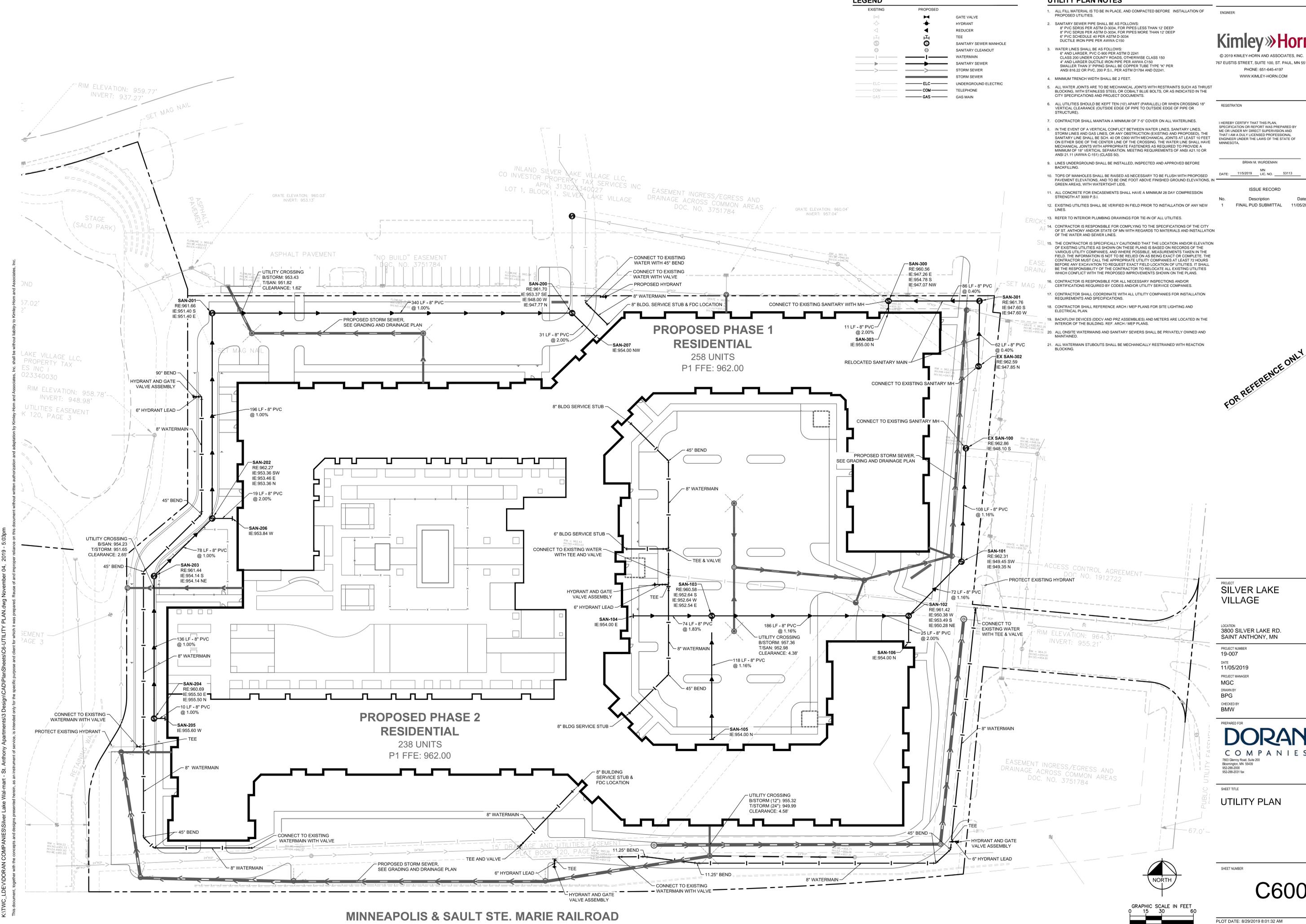
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

FOR REFERENCE ONLY

PROJECT: SILVER LAKE VILLAGE
 LOCATION: 3800 SILVER LAKE RD. SAINT ANTHONY, MN
 PROJECT NUMBER: 19-007
 DATE: 11/05/2019
 PROJECT MANAGER: MGC
 DRAINBY: BPG
 CHECKED BY: BMW

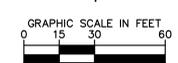
PREPARED FOR: **DORAN COMPANIES**
 7803 Glenroy Road, Suite 200
 Bloomington, MN 55439
 952-288-2000
 952-288-2031 fax

SHEET TITLE: **UTILITY PLAN**
 SHEET NUMBER: **C600**
 PLOT DATE: 8/29/2019 8:01:32 AM



K:\TWC_LDEVORAN COMPANIES\Silver Lake Walmart - St. Anthony Apartments3 Design\CAD\PlanSheets\CE-UTILITY PLAN.dwg November 04, 2019 - 5:03pm
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MINNEAPOLIS & SAULT STE. MARIE RAILROAD



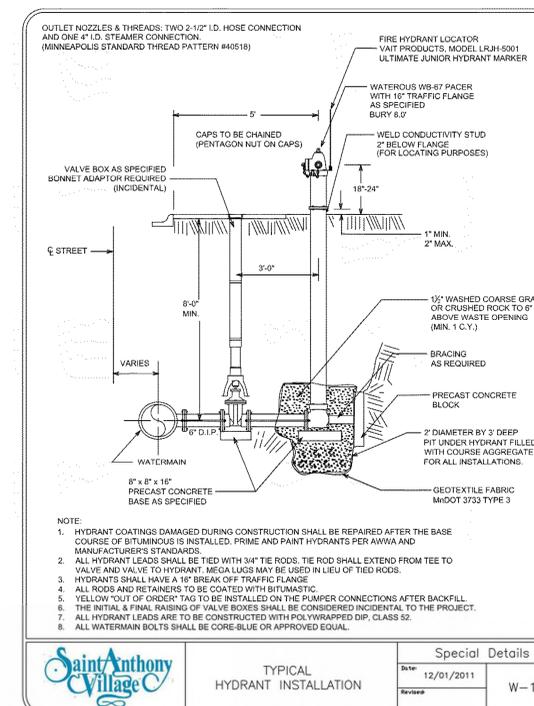
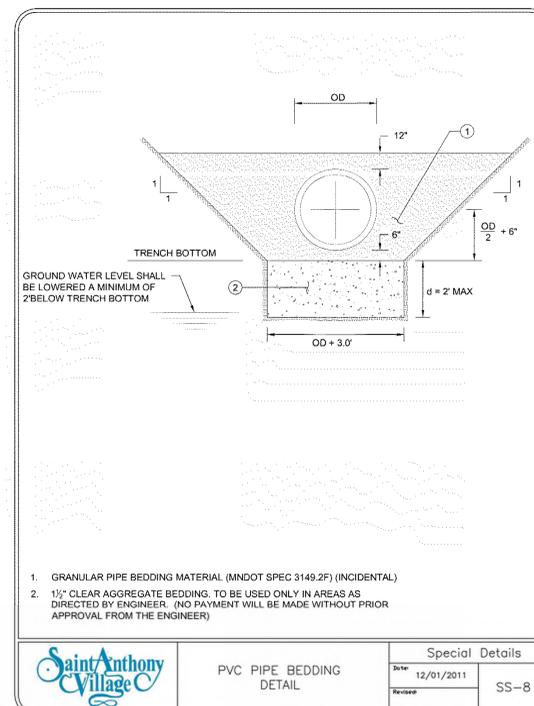
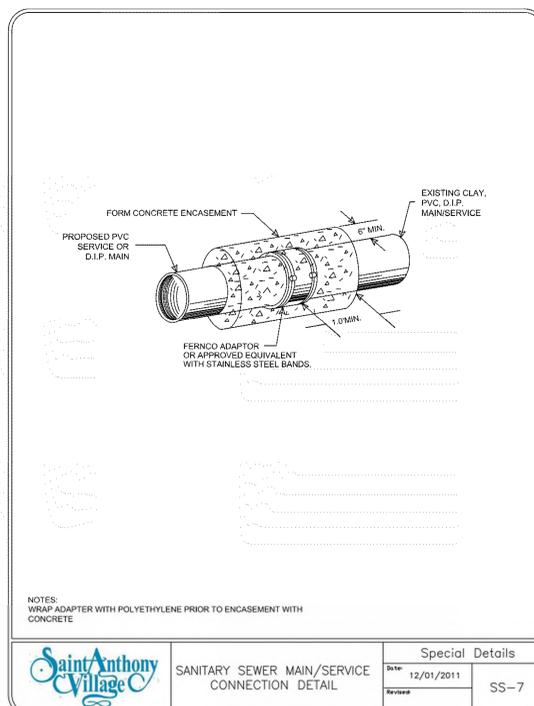
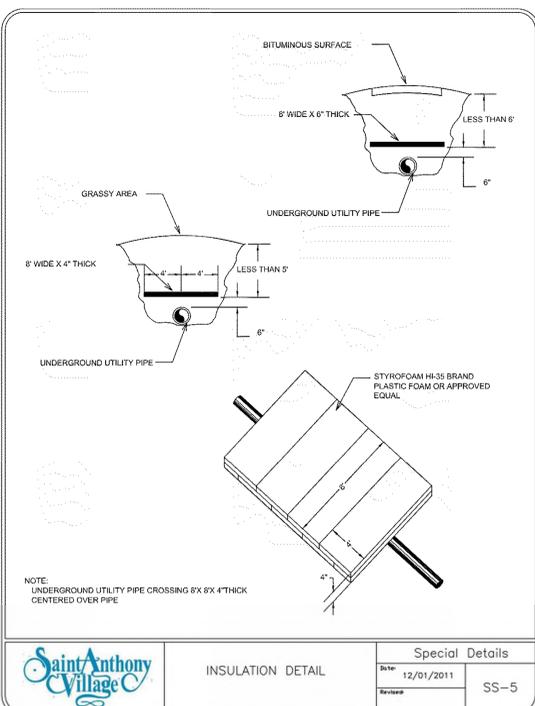
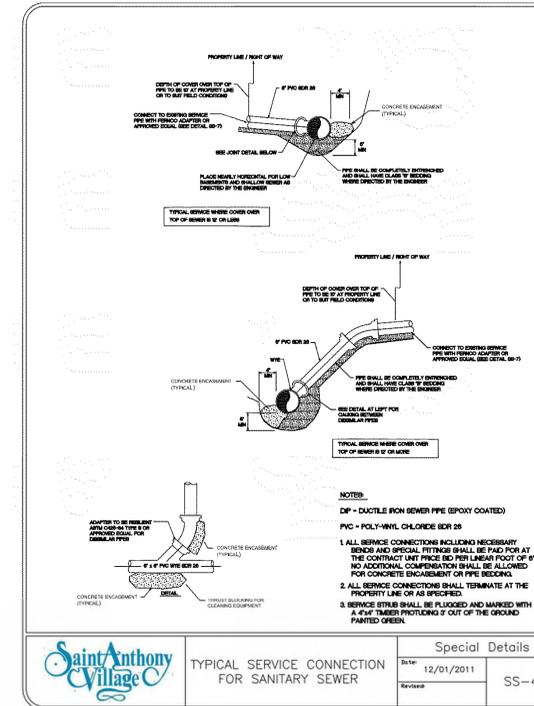
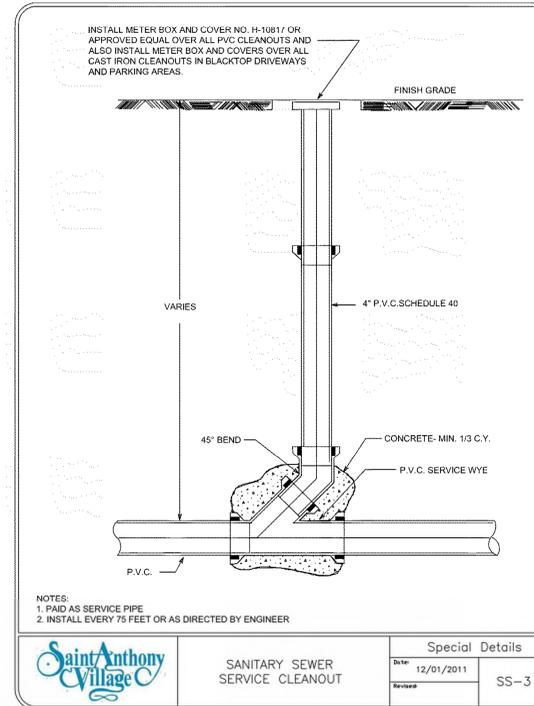
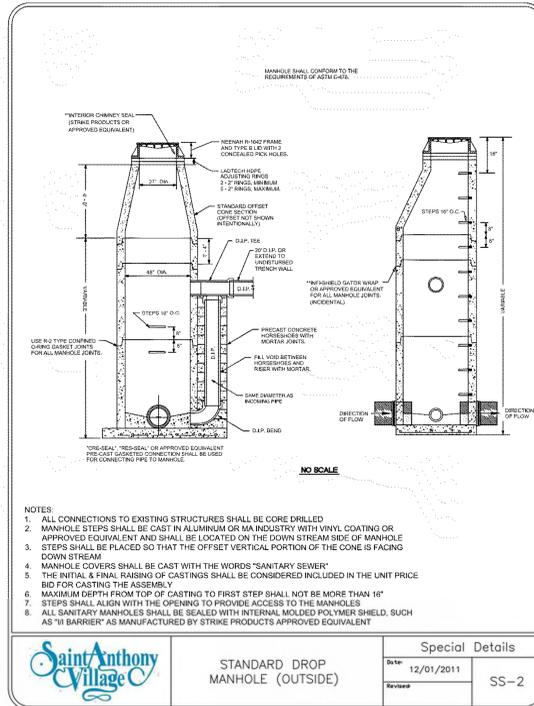
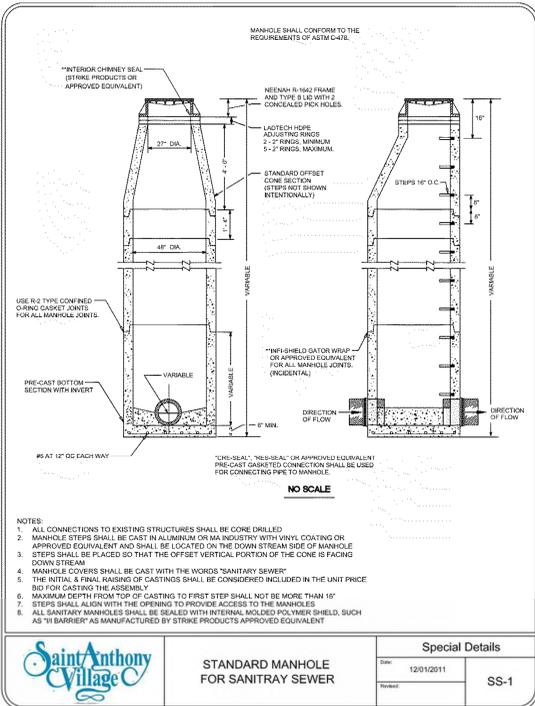
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BRIAN M. WURDEMAN
MN
DATE: 11/5/2019 LIC. NO. 53113

ISSUE RECORD

No. Description Date
1 FINAL PUD SUBMITTAL 11/05/2019



PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC

DRAWN BY
BPG

CHECKED BY
BMW

PREPARED FOR
DORAN COMPANIES

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952-285-2031 fax

SHEET TITLE
UTILITY DETAILS

SHEET NUMBER
C601

SHEET NUMBER

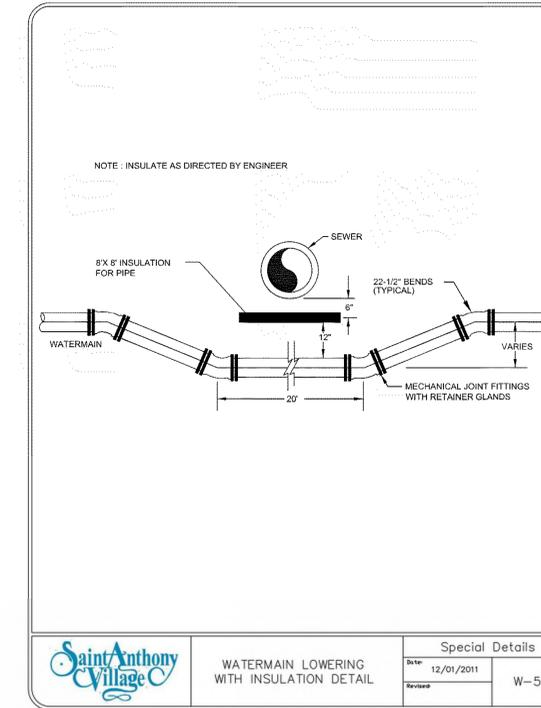
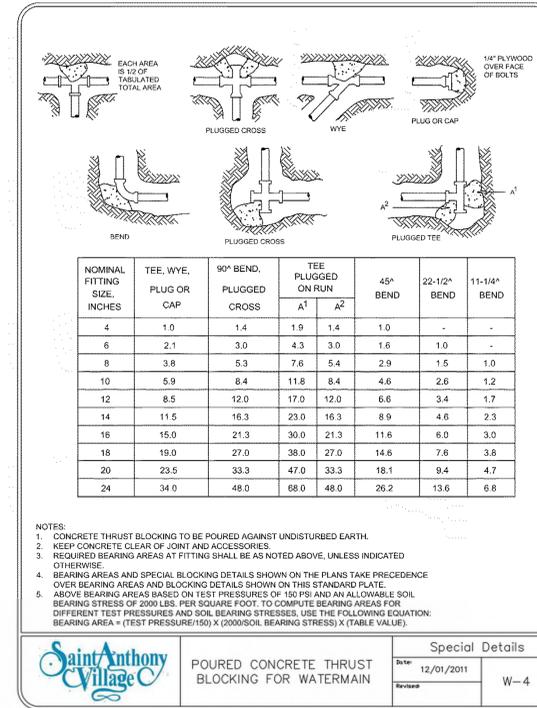
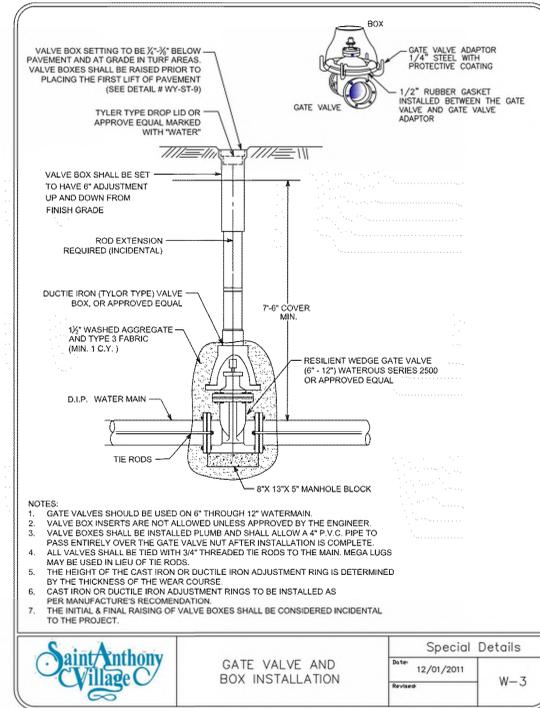
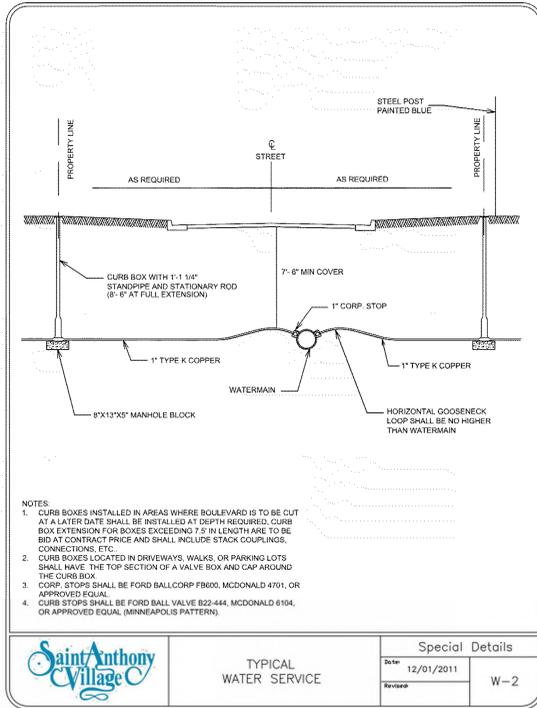
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BRIAN M. WURDESMAN
MN LIC. NO. 53113
DATE: 11/5/2019

ISSUE RECORD		
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019



FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
3800 SILVER LAKE RD.
SAINT ANTHONY, MN

PROJECT NUMBER
19-007

DATE
11/05/2019

PROJECT MANAGER
MGC
DRAIN BY
BPG
CHECKED BY
BMW

PREPARED FOR
DORAN COMPANIES
7803 Glenroy Road, Suite 200
Bloomington, MN 55439
952-288-2000
952-288-2031 fax

SHEET TITLE
UTILITY DETAILS

SHEET NUMBER
C602

QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
10	TELA AMERICANA BOULEVARD	BOCKLEWOOD LINUM	8.8.8	2.5' CAL.	
5	QUERCUS ROBUR X QUERCUS ALBA ORNICHOMID	ORNDORF SPHERE OAK	8.8.8	2.5' CAL.	
13	ACER SACCHARUM 'BALISTA' TM	FALL FIESTA SUGAR MAPLE	8.8.8	2.5' CAL.	
10	DIWYDOLADUS DORICA 'ESPRESSO'	KENTUCKY COFFEE TREE	8.8.8	2.5' CAL.	
5	QUERUS ALBA 'SILVANA'	SWAMP WHITE OAK	8.8.8	2.5' CAL.	
5	QUERUS BICOLOR	SWAMP WHITE OAK	8.8.8	2.5' CAL.	
4	PRINUS NIGRA	AUSTRIAN PINE	8.8.8	6 HT.	
4	PRINUS NIGRA	AUSTRIAN PINE	8.8.8	6 HT.	
1	TSUGA CANADENSIS	CANADIAN HEMLOCK	8.8.8	6 HT.	
2	MALLUS X LANZANI TM	LANCLOTT DWARF CRABAPPLE	8.8.8	2.5' CAL.	
6	CERES CANADENSIS	NORTHERN REDBUD MULTI-TRUNK	CLUMP	6 HT.	
15	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	CLUMP	6 HT.	
7	QUERCUS ROBUR X BICOLOR LONG	REGAL PINE/OAK LONG	8.8.8	2.5' CAL.	
10	SYRINGA RETICULATA 'ELIOTT'	SNOW CAP JAPANESE TREE LILAC	8.8.8	2.5' CAL.	
10	MALLUS X SPRING SNOW	SPRING SNOW CRABAPPLE	8.8.8	2.5' CAL.	
17	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	85 CONT.		
138	TAUNUS X MEDIA 'TAUNTON'	TAUNTON YEW	85 CONT.		
10	LEX VERTICILLATA 'AFTERGLOW'	AFTERGLOW WINTERBERRY	42 CONT.		
190	VIBURNUM TRELOUM BAILEY COMPACT	BAILEY'S COMPACT AMERICAN VIBURNUM	85 CONT.		
281	SYRINGA X 'SILVAPIT'	BLOOMERANG DARK PURPLE LILAC	85 CONT.		
96	CORNUS SERICEA 'ALLEGAN'S COMPACT'	DWARF RED TWIG DOGWOOD	85 CONT.		
178	PRUNUS SPINOSA 'SOLAROW'	SOLAROW FRAGRANT SPINE	85 CONT.		
57	ARONIA MELANOCARPA 'MORTON' TM	ROGUES BEAUTY BLACK CHOKEBERRY	85 CONT.		
4	LEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	42 CONT.		
30	HYDRANGEA PANCULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	85 CONT.		
28	HYDRANGEA PANCULATA 'JANE'	LITTLE LIME HYDRANGEA	85 CONT.		
100	HYDRANGEA PANCULATA 'LITTLE QUICK FIRE'	LITTLE QUICK FIRE HYDRANGEA	85 CONT.		
15	VIBURNUM DENTATUM 'MORTON' TM	NORTHERN BRINDLEWOOD VIBURNUM	85 CONT.		
290	SORBARIA SCORPIOLA 'SEM'	SEN FALSIFERIA	85 CONT.		
241	SPHRAEA BETULIFOLIA 'TOR'	TOR BIRCHLEAF SPHREA	85 CONT.		

QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
114	SCHISCHOPHRUM ESCOPARUM 'BLUE HEAVEN'	BLUE HEAVEN LITTLE BLUESTEM	81 CONT.		
807	CALAMAGROSTIS X ACUTIFLORA 'KARL FORDERER'	KARL FORDERER FEATHER REED GRASS	81 CONT.		
539	SPOROBOLEUS HETEROLEPIS	PRAIRIE DROPSEED	81 CONT.		
QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
50	SEDUM X AUTUMN FIRE	AUTUMN FIRE SEDUM	81 CONT.		
85	ARUNCUS DIODICUS	GOATS BEARD	81 CONT.		
89	HOSTA X 'BLUE ANGEL'	BLUE ANGEL HOSTA	81 CONT.		
34	HOSTA X 'GUACAMOLE'	GUACAMOLE HOSTA	81 CONT.		
219	RUBRODIA X 'LITTLE GOLD STAR'	LITTLE GOLD STAR BLACK-EYED SUSAN	81 CONT.		
128	SCIRPUS X 'BURNIE BARBER'	BURNIE BARBER CORNER TOWER	81 CONT.		
270	HEMEROCALLIS X 'ROSY RETURNS'	ROSY RETURNS DAYLILY	81 CONT.		
42	ALCHEMILLA MOLLIS 'THRILLER'	THRILLER LADY'S MANTLE	81 CONT.		
88	ASTILBE CHINENSIS 'YOGON IN WHITE'	YOGON IN WHITE ASTILBE	81 CONT.		
100	NEPETA X 'FAASSEN' 'WALKERS LOW'	WALKERS LOW CATMINT	81 CONT.		
QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
25	CAMPISIS GRANDIFLORA	CHINESE TRUMPET CREEPER	82 CONT.		

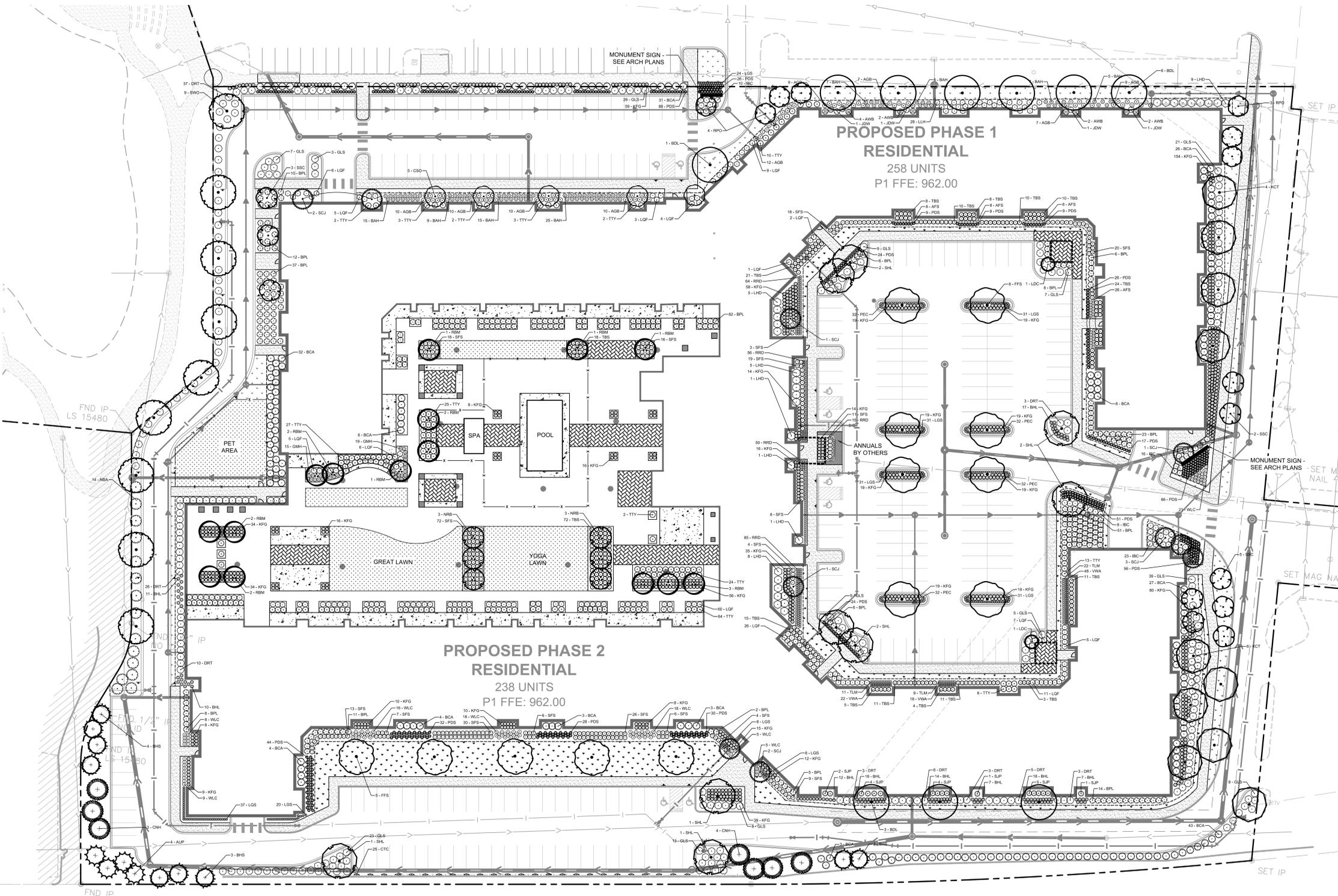
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(Dashed line)	LANDSCAPE EDGER (TYP)
(Stippled pattern)	SOD (TYP)
(Cross-hatched pattern)	ARTIFICIAL TURF (TYP)
(Diagonal lines)	ANNUALS - BY OTHERS (TYP)
(Solid grey)	CONCRETE
(Grid pattern)	DECORATIVE PAVING (TYPE TBD)
(Dashed line with dots)	CHAIN-LINK FENCE (TYP)

ENGINEER
Kimley»Horn
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REGISTRATION
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 MITCHELL G. COOKAS
 MN LIC. NO. 56522
 DATE: 11/05/2019

ISSUE RECORD
 No. 1 Description: FINAL PUD SUBMITTAL Date: 11/05/2019

- ### LANDSCAPE NOTES
- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 818 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
 - ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
 - NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
 - ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICABLE GAPS, HOLES OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAVING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
 - PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
 - PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
 - PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY. TEMPORARILY STORED PLANTS ONLY.
 - PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
 - OPEN TOP OF BURLAP ON 8B MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
 - PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
 - WRAP ALL SMOOTH-BARKED TREES - TOP AND BOTTOM. REMOVE BY APRIL 1ST.
 - STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
 - THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR NOTIFY LANDSCAPE ARCHITECT FOR THE NEED FOR ANY SOIL AMENDMENTS.
 - BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE OR IMPORTED TOPSOIL FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
 - MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS MATERIAL.
 - EDGING TO BE COMMERCIAL GRADE STEEL EDGING. EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIRES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. INDIVIDUAL TREE, SHRUB, OR RAISED GARDEN BEDS TO BE SPACED EDGE. UNLESS NOTED OTHERWISE, EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
 - ALL DISTURBED AREAS TO BE SOODED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
 - PROVIDE IRRIGATION TO ALL PLANTED AND SOD AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGNED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION PLAN AND SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE TWO YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL.
 - REPAIR, REPLACE, OR PROVIDE SOD AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
 - REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
 - APPLY PRE-EMERGENT HERBICIDE (PREN OR APPROVED EQUAL) IN ANNUAL, PERENNIAL, AND SHRUB BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH.
 - CONTRACTOR TO CONFIRM WATER AND POWER SUPPLY LOCATIONS AND DETAILS WITH GENERAL CONTRACTOR FOR IRRIGATION SYSTEM.
 - CONTRACTOR SHALL MAINTAIN ALL PLANTS AND TURF PER THE MANUFACTURERS' INSTRUCTIONS THROUGHOUT THE GUARANTEE PERIOD.
 - OWNER OR CONTRACTOR TO BROADCAST PRE-EMERGENT HERBICIDE (PREN OR APPROVED EQUAL) TWO TIMES PER YEAR ACROSS ALL PLANTING BEDS AND SHALL INSTALL NEW MULCH AS NEEDED FOR PERPETUITY.
- SEE SHEET L103 FOR LANDSCAPE DETAILS.



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FOR REFERENCE ONLY

PROJECT
SILVER LAKE VILLAGE

LOCATION
 3800 SILVER LAKE RD.
 SAINT ANTHONY, MN

PROJECT NUMBER
 19-007

DATE
 11/05/2019

PROJECT MANAGER
 MGC

DRAWN BY
 GMC

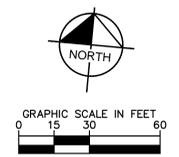
CHECKED BY
 MGC

PREPARED FOR
DORAN COMPANIES
 7863 Glenway Road, Suite 200
 Bloomington, MN 55439
 952-285-2000
 952-285-2031 fax

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L100

PLOT DATE: 8/29/2019 8:01:32 AM

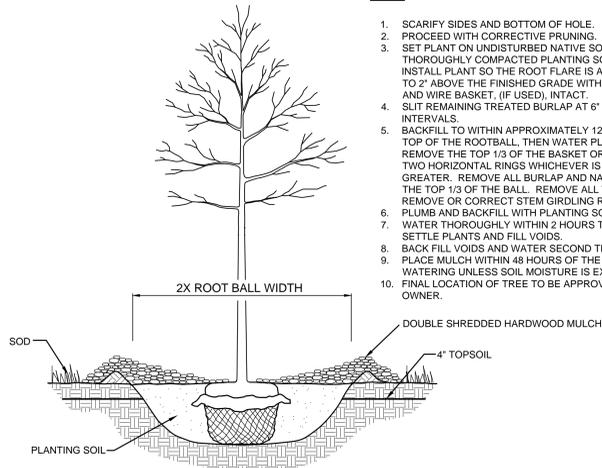


MINNEAPOLIS & SAULT STE. MARIE RAILROAD

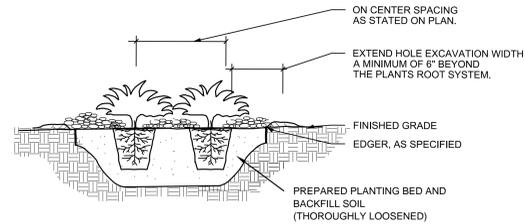
No.	Description	Date
1	FINAL PUD SUBMITTAL	11/05/2019

NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL. THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



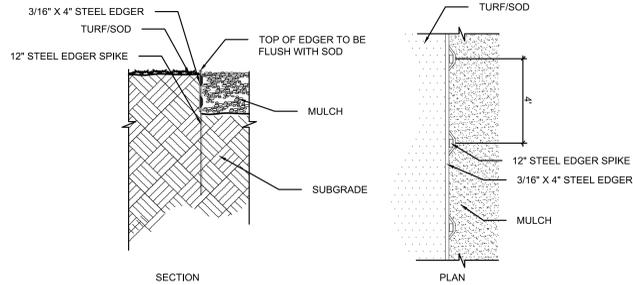
1 TREE PLANTING DETAIL
SCALE: N.T.S. L101



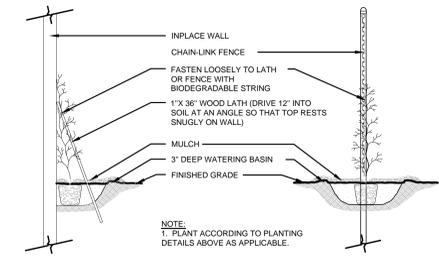
NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

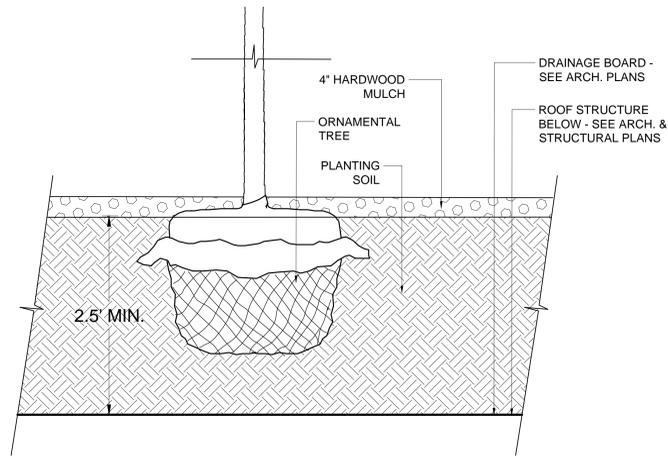
2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S. L101



3 STEEL EDGER DETAIL
SCALE: N.T.S. L101



4 VINE PLANTING
SCALE: N.T.S. L101



5 TREE PLANTING ON STRUCTURE
SCALE: N.T.S. L101

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SHEET TITLE

LANDSCAPE
DETAILS

SHEET NUMBER

L101